

Statement of Environmental Effects & Development Package

In Support of a Development Application

Proposal	Agricultural Produce Industry – Receive, Grade, Wash, Process & Package and transport preparation for Prunes
Subject Land Address	Lot 2235 DP 754611
	No 20 Rockdale Rd, Young 2594
Owner	VERITY FRUITS PTY LTD (Director Chris Brooke-Kelly)
Applicant	Landers Brooke-Kelly (CEO) 0423 144 512
SEE Prepared By	DA Busters – Development Assistance Services Ph: 0466 722 869 Email: Craig@DAbusters.com
LGA	Hilltops Council – former Young Shire Council area



VERITY FRUITS – PRUNE PROCESSING STREET RENDERING

SEE completion assisted by:



A. The Site and Area

The Site

The subject land for this application has a legal description of Lot 2235 DP 754611, being known locally as 20 Rockdale Rd Young. The land is located approximately 1.809km from the Young Post Office in a north westerly direction. The access to the land is presently from Boorowa Street which connects to Rockdale Rd through to the site.

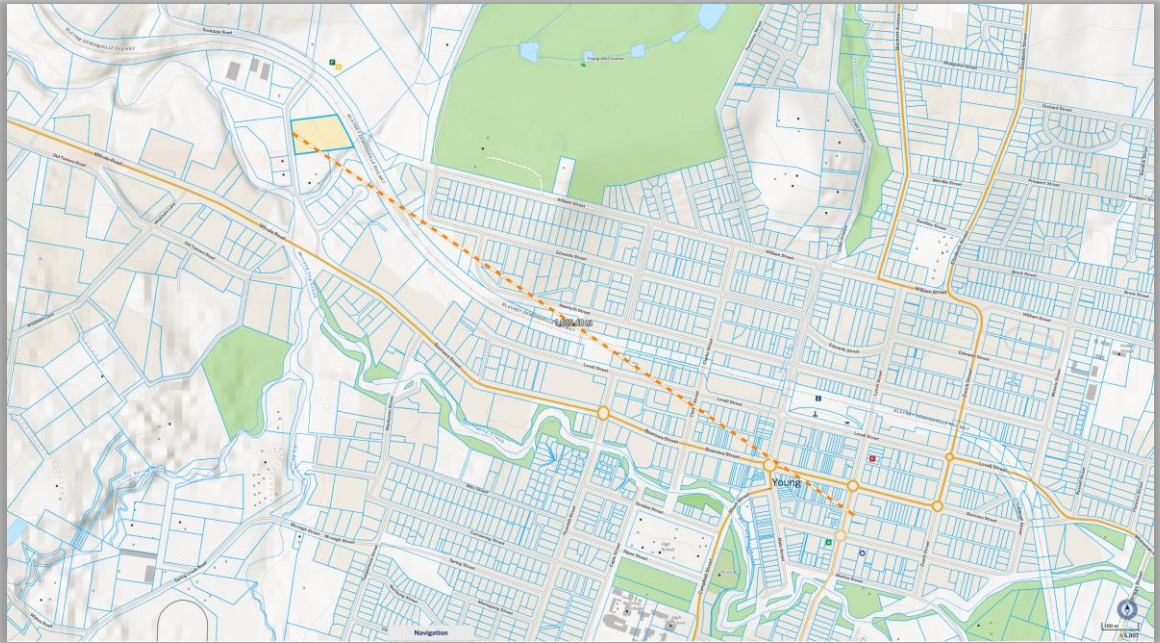


Fig # 1 – Locality Map

The site is level and is bound by real property either side (Lot 2302 to the north is also owned by Verity Fruits), by the redundant rail line to the rear of the property, and to the recently upgraded Rockdale Rd to the frontage. Rockdale Rd has been upgraded recently and services Allied Grain, the local SES & Rural Fire Service Buildings as well as the new subdivision and Ag Business just off Milvale Rd/Boorowa Street.

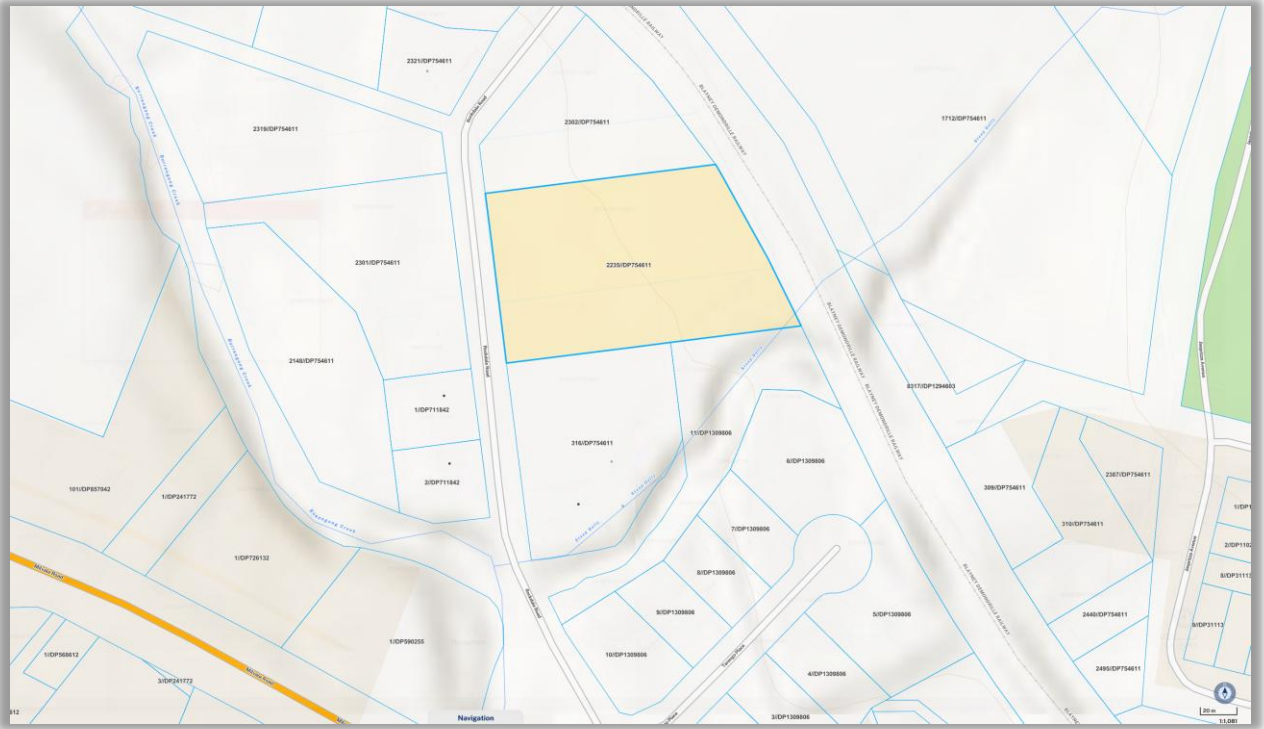


Aerial Image of Subject Land (SIX Maps circa 2012)



Wider SIX Aerial Image circa 2012

This locality has been long recognised and zoned for Industrial, Service, Bulky Goods Retail, and related uses in both the 1993 Rural LEP (and before this when no EPI was in place) and the 2010 Young LEP. This area has been earmarked to continue in the same vein in the 2022 LEP also, with no major changes proposed between existing and current EPI's. Previous Owners (the Rowan Family – owners for over 100 years) of this swath of land however, were not fans of Council's zoning, keeping the lands in a semi-rural block. This will be verified by some older aerial images below.



Contour Cadastre / Topographic Map (relatively level)



Drone Image of site 2023 – Real Estate



Entry on Western Approach – Streetview



Photo – South Eastern aspect – Real Estate



**Aerial Image – Google Circa 2024
Boundaries as marked indicative only**

The area of the subject allotment is 1.3063 hectares (3 acres, 0 roods, 36.5 perches) - see the Title extract below. The subject lot of the development has a frontage of 91.37m to Rockdale Rd & rear boundary of 97.82m with sides of 124.66m (north side) and 159.55m south side.

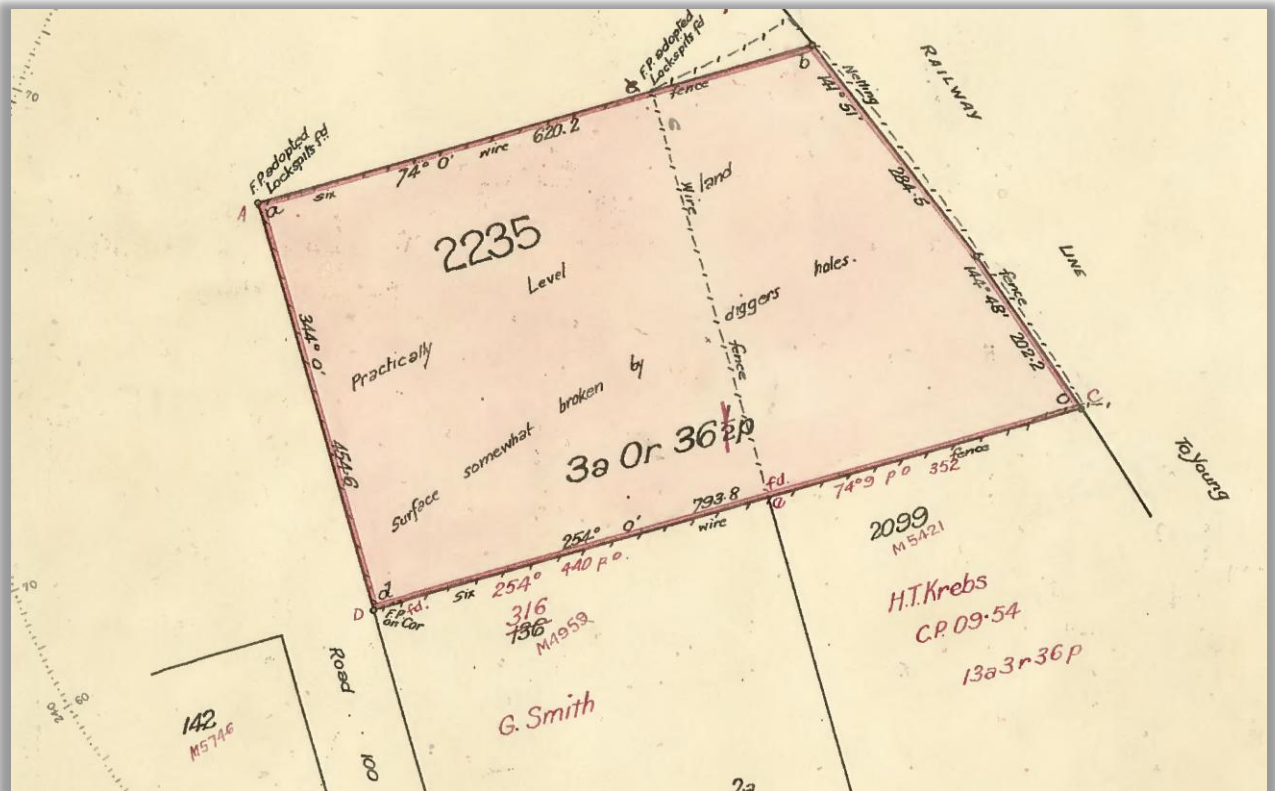
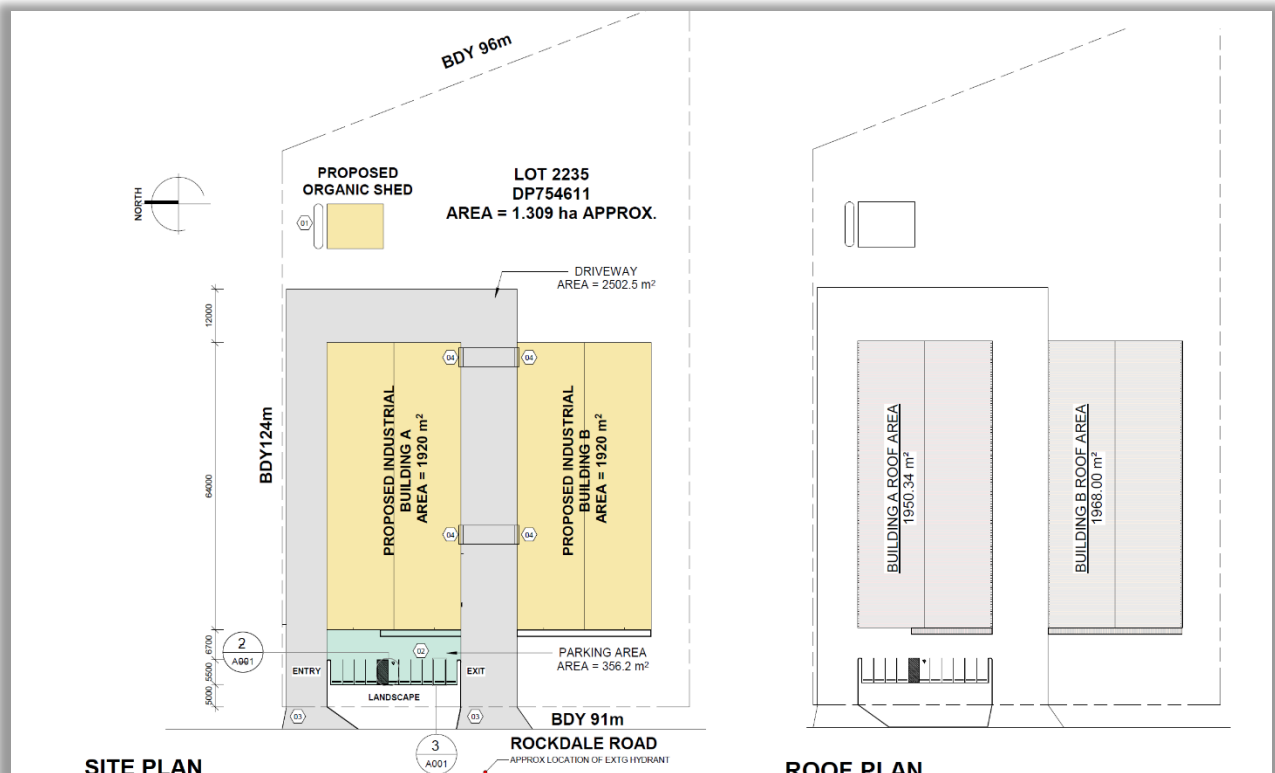


Fig # 3 – Extract of Plan of DP Search (dimensions in links – extrapolated/converted above)



Proposed site plan extracts – SEE Main Plan Set for better areas and details

Electrical Assets

The site is crossed in the road at its frontage, by an electrical line shown highlighted on the below plan at the front of the site, which has infrastructure within the said road for 11kVa electricity. The building and site presently have been designed away from these assets. The line in the front street does not impact on the development.



Power Line Mapping

The Site Context

The subject land is within an area zoned (or otherwise earmarked in the original Planning Ordinance & Draft LEP pre-1991) and available for Industrial Lands (including other aligned uses) for at least 40 years. This area has been zoned Industrial since approximately 1993 under the former Young Rural LEP with adjoining lands also zoned Industrial. As a result, the area out on Milvale Rd & Boorowa St is well established by a mix of older businesses and with newer ones like the current site emerging. No conflict presently exists between businesses in the locality

The land has a wide mix and range of uses within the 500 - 750m or so around it. These include;

- ✓ Smash Repairs
- ✓ Plumbing Wholesale
- ✓ Govt Electrical Lines Depot
- ✓ Concrete Yard
- ✓ Smash Repairs
- ✓ Auto Electrician
- ✓ Harvey Norman
- ✓ Concrete Batching Plant, Depot, and Sand/Soil/Gravel yard
- ✓ Electrical Fitter
- ✓ Bulky Goods retail
- ✓ Materials Warehouse
- ✓ Tilt Tray Service

- ✓ Agricultural Supplies
- ✓ Powder Coating Service
- ✓ Agricultural Machinery Depot (3 of)
- ✓ Shed Manufacturer, Distribution and Sales Depot (2 of)
- ✓ Rural Residential
- ✓ Residential parts of western Young
- ✓ Emergency Services Depot

The proposal to have the current business expand and establish a fit for purpose site, enriches former occupied sites at Upper & Lower Nasmyth Street with split resources and ever increasing residential encroachment on existing use industry.



Existing processing site – Existing Use



Lower Nasmyth St Receive sort & store

B. The Proposed Development

The development proposed by this application can best be summarised as follows;

Integration of Current Business Operations from 2 locations in Young to a single site at 20 Rockdale Road

To erect two (2) x 1,920 sq.m buildings

- Building A = processing, cooking and preparation of product along with staff areas, reception, offices and administration; and
- Building B = receival dehydrated product, sorting, warehousing & transport, and
- a further rear smaller ancillary organics shed,

for the processing of Prunes.

The site and this development has been designed to encompass heavy vehicle access and manoeuvre around the site, accessibility between buildings for day to day operations, all within buildings which will accommodate current operations and permit growth in the business., staff and customer/ reps access to site, without large vehicle conflict

The location of the development is largely greenfield as this area has been tagged as Industrial for an extended time, yet only recently have roads and services been extended to permit sound development of same. The site has a rare large level area for development and can be developed with limited site costs defeating the value of works undertaken.

Design Incorporates

The design of the development has been gradually worked up to comply with

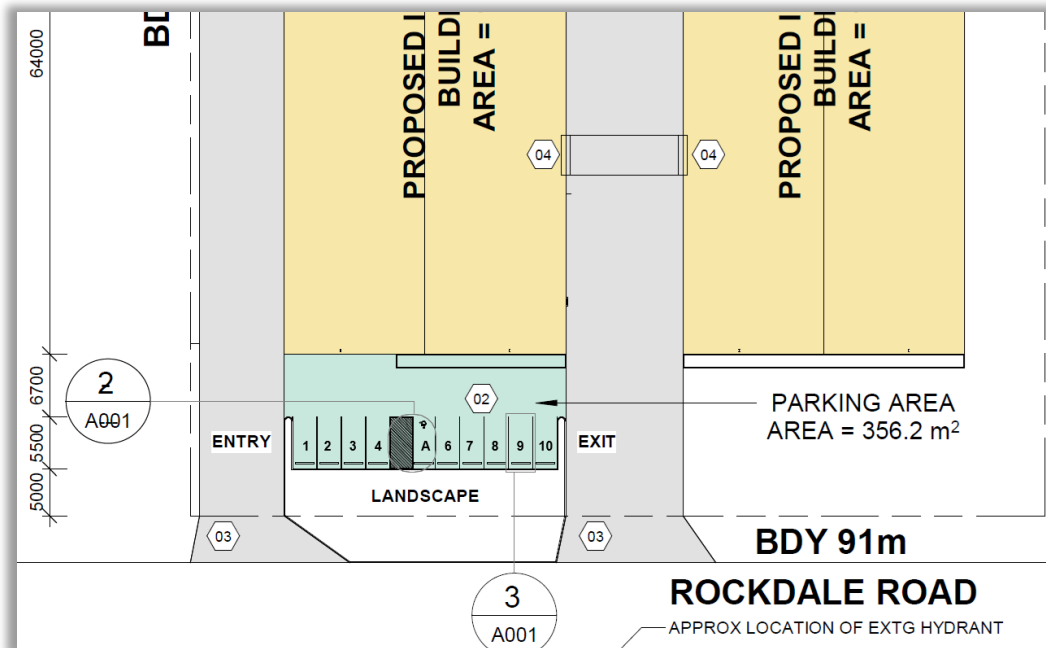
- Building Code of Australia
- The Young DCP 2011 informing the Hilltops LEP 2022 and related Policy
- Council's Engineering Standards for Subdivision & Development

In developing this design, the Owner and Design Team have anticipated BCA Matters with the A1 Certifier at DA Busters, along with a close examination of the Council present and proposed Development Control Plans, have ensured the Designer has allowed for the required site and construction measures for CC compliance.

The site is large enough it has allowed Traffic analysis by template use for adequate site design, manoeuvrability and access & parking considerations. All of these elements will be discussed at the required legislative and policy points below. As well, all further required specialists (Engineers, Energy efficiency etc) will be sought prior to applying for the Construction Certificate, however straightforward Type C NCC construction principles have been drawn on to ensure the buildings and site, will meet the deemed to satisfy pathway for compliance.

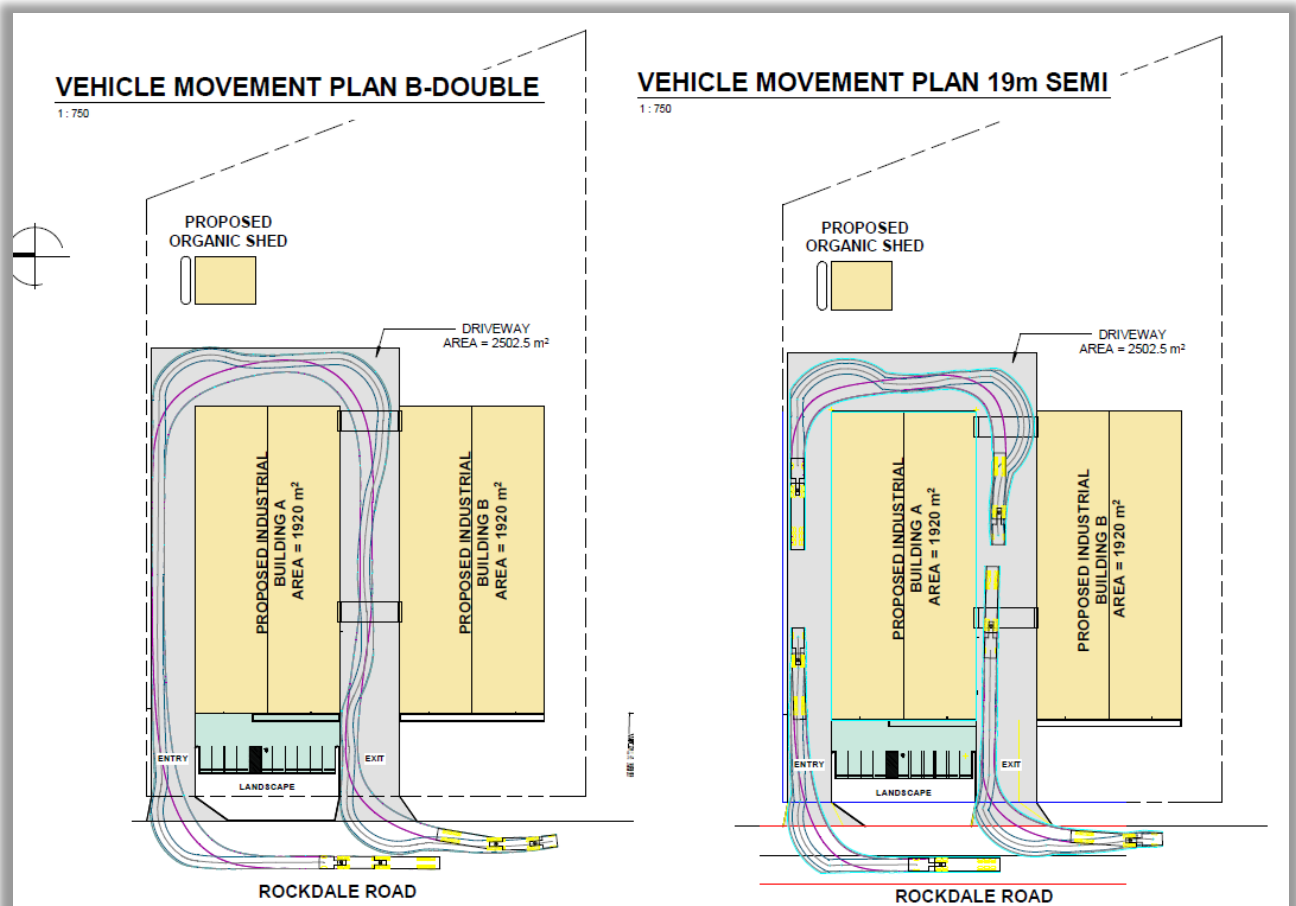
Access & Parking

The site will be serviced by concrete internal roads and manoeuvring areas for customers, delivery traffic and service vehicles. This is consistent with all of the newer industrial areas in Young and policy obligations. The DCP requires 1 space per every 2 employees for Industrial Development. The client currently employs 6 FTE Staff with 3 seasonal casuals. Capacity is being built for up to double the workforce. As such 9 parking spaces exist along with 1 accessible space, which would cater for same. Regardless, ample room exists at rear of site for operational staff to park ad hoc at rear of site.



Access & Parking Details from Plan

The site is designed to cater for a clockwise large vehicle motion for heavier vehicles. As well, carparking can occur through the same access and exit points far more frequently than delivery vehicles. The site has been designed for B Double potential, however the majority of larger vehicles will be Semi Trailers and the site easily accommodates same.



Large Vehicle Accessibility

Along with staff movements attending and leaving work, the following operational logistics occur.

- Verity fruits have a semi-trailer come weekly to take orders away to supermarkets.
- Throughout the grading season (April-Sep) Verity have a B-double truck delivery fruit twice a week.
- Small couriers and medium rigid trucks drop deliveries and parcels off multiple times a week.
- Two forklifts are operated on site through working house.

Fencing & waste

The site is and/or will be, perimeter fenced in at least a 2400mm chain-wire fence for basic security purposes yet still offering casual surveillance of the land. Suitable site lighting will be offered for casual surveillance and subject to stipulations below, operations on site may be for extended hours with staff surveillance open as well. All the hard stand areas will be graded, drained, and designed to shed to Rockdale Rd with suitable sumps and velocity arresting for slow release flows. A specific Civil design in this regard will be arranged for CC.

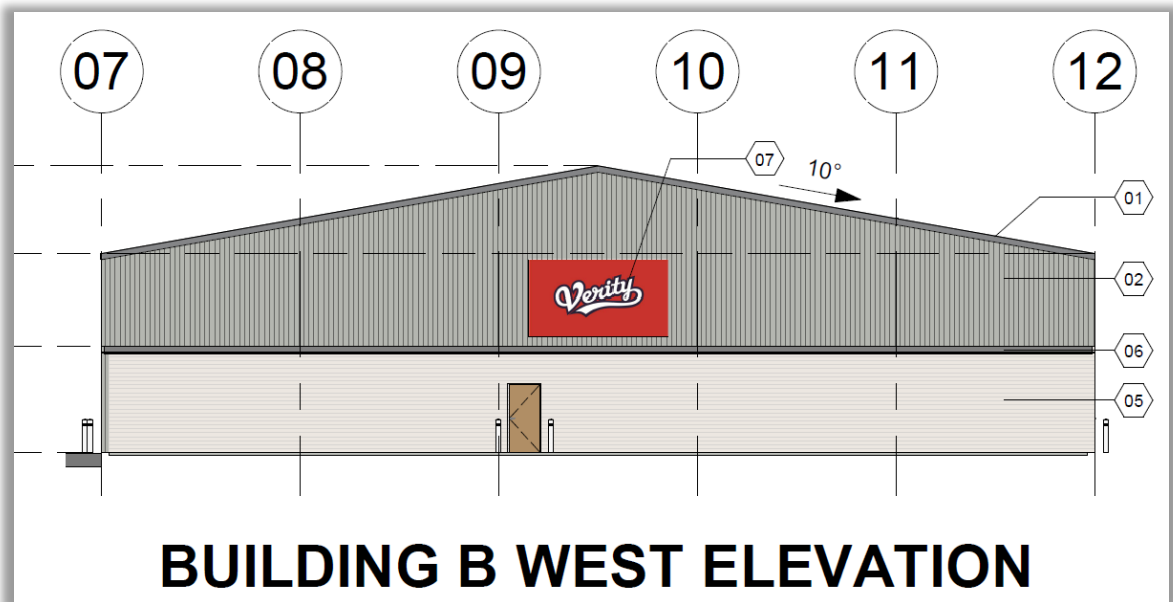
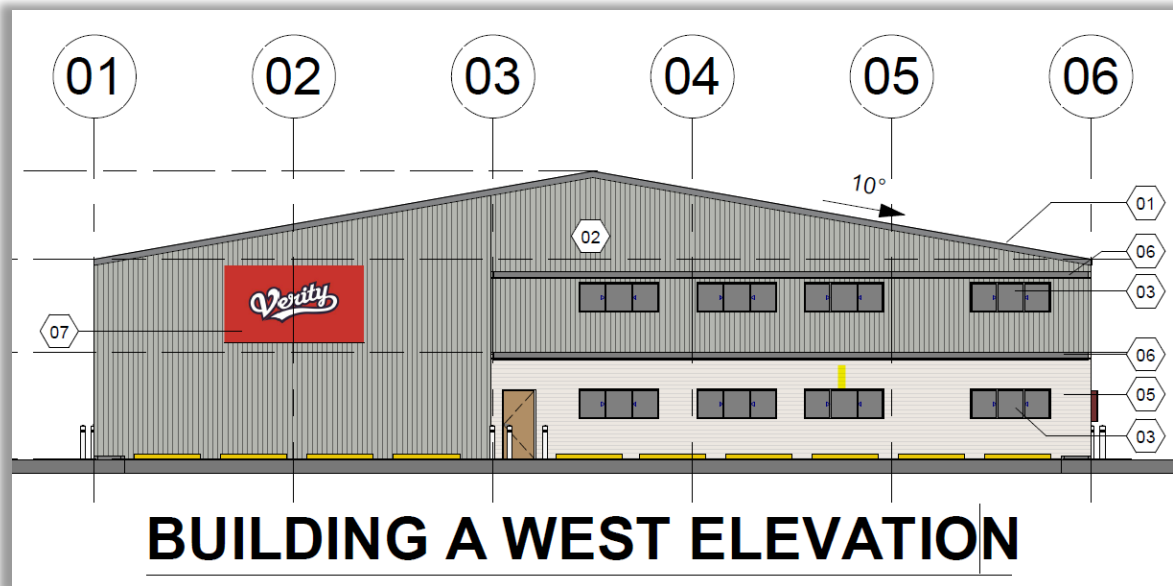
Landscaping / Appearance

Landscaping across the front and side boundaries (where possible) will comprise a mix of shrubs to a height that will beautify but not disturb vision to Occupant Signage of the Industrial site. These will be further sympathetic to the existing established development.

Signage will be as marked up below.



The signage will be predominantly per the Corporate Logos but moreover as a Building Sign per above. The building colours are anticipated to be in the mid grey colorbond range with mild contrasts between changes in building form. Awning construction per the above rendering also acts to break the frontage of the principal shed per Council DCP – discussed further below.



The frontage of each structure with road presence will be broken into a relief wall cladding with an above level colorbond finish. This change in material and texture plus colouring is believed to deliver on the DCP obligation for street presence whilst still delivering the building functionality required by the Owner.

Referrals

This proposal does not require an Integrated Development application, yet as the buildings each exceeds 2000 sq.m, is industrial and opens onto a road that delivers to a Classified Road, will need referral and potential concurrence with Traffic for NSW per the SEPP (Transport & Infrastructure) 2021.

The proposal is off a non Classified Road - Rockdale Rd (recently upgraded knowingly for industrial and RU4 traffic) which connects to a Classified Road (MR 241 – Boorowa Street before it becomes Milvale Rd) and is on a controlled straight section of township approach road in an 50km/hr area. The new access will exceed 200m safe intersection sight distance in both directions, is on an area of road already provided with recent upgrade and presently services an agricultural machinery business of some size and scale nearby. The power setbacks

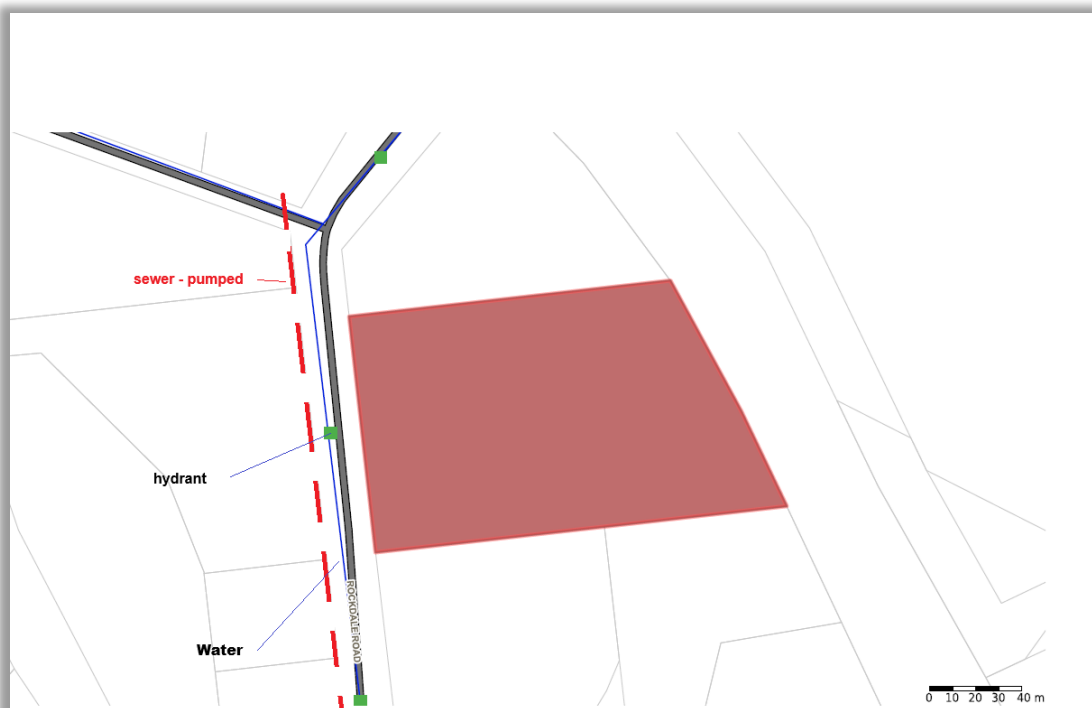
have been discussed and displayed on plan, demonstrating compliance. This should potentially negate even the need for referral under Infrastructure SEPP sec 45.



Local Road to Classified Road connection

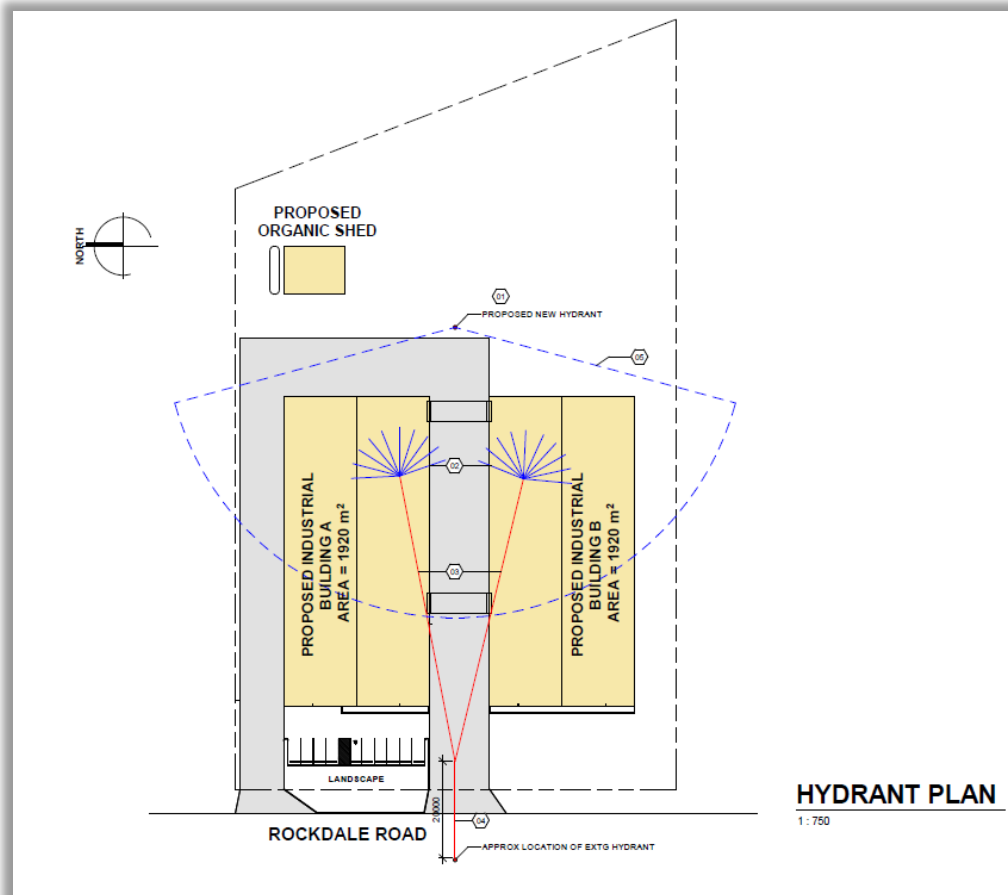
Site considerations

No demolition of any structure is required. Power, water, and sewer (may require contributive pumped discharge on site, to feeder from Allied Grain back to Boorowa Street) and are all adjacent the site in Rockdale Rd.



Utilities investigation

Water and sewer exist, and a hydrant exists central and opposite yet for buildings exceeding 500 sq.m the Australian Standard provides that this would not service both buildings. Accordingly a hydrant on site will be provided which is strategically positioned to allow for site expansion in time. As well a grease arrestor may well be required for pre cursor treatment before sewer disposal as a Liquid Trade Waste consideration, from the cleaning and par cooking elements of the processing.



New hydrant proposed

Capacity within or behind the main sheds (4m) for at the least 2.5 cubic metre bins, will exist. Fruit waste or organic material will be collected and disposed of regularly to either Victoria Street or on farm composters.

As stated before, the access and service road areas have been designed to allow broad movement within the site for a semi-trailer and B double with straightforward turning movements as presently occurs regularly, and as well a heavy rigid can comfortably service or attend the premises (garbage truck or local supply/delivery), and could enter and leave site in a forward direction comfortably.

A site plan with turning movements for a semi-trailer, B Double & heavy rigid vehicle have been included in the appendices.

Built Form

The maximum wall height and roof height of the 2 new primary buildings measured from finished ground level will be 6.0m to eave and 8.645m to ridge respectively. Treatments for the frontages are as outlined earlier. The gross floor area (GFA) of the new buildings will be 1920m² each at 30m x 64m. Building A will be the primary staffed and processing building whilst Building B will be receivals, sorting and also out product warehousing.

Building A will be afforded the site services and has proposed WC's, Accessible facilities and also Staff amenities, besides the Offices. It will also have a storage mezzanine for office records and the like. This being less than 200 sq.m is exempt from accessible access provisions.

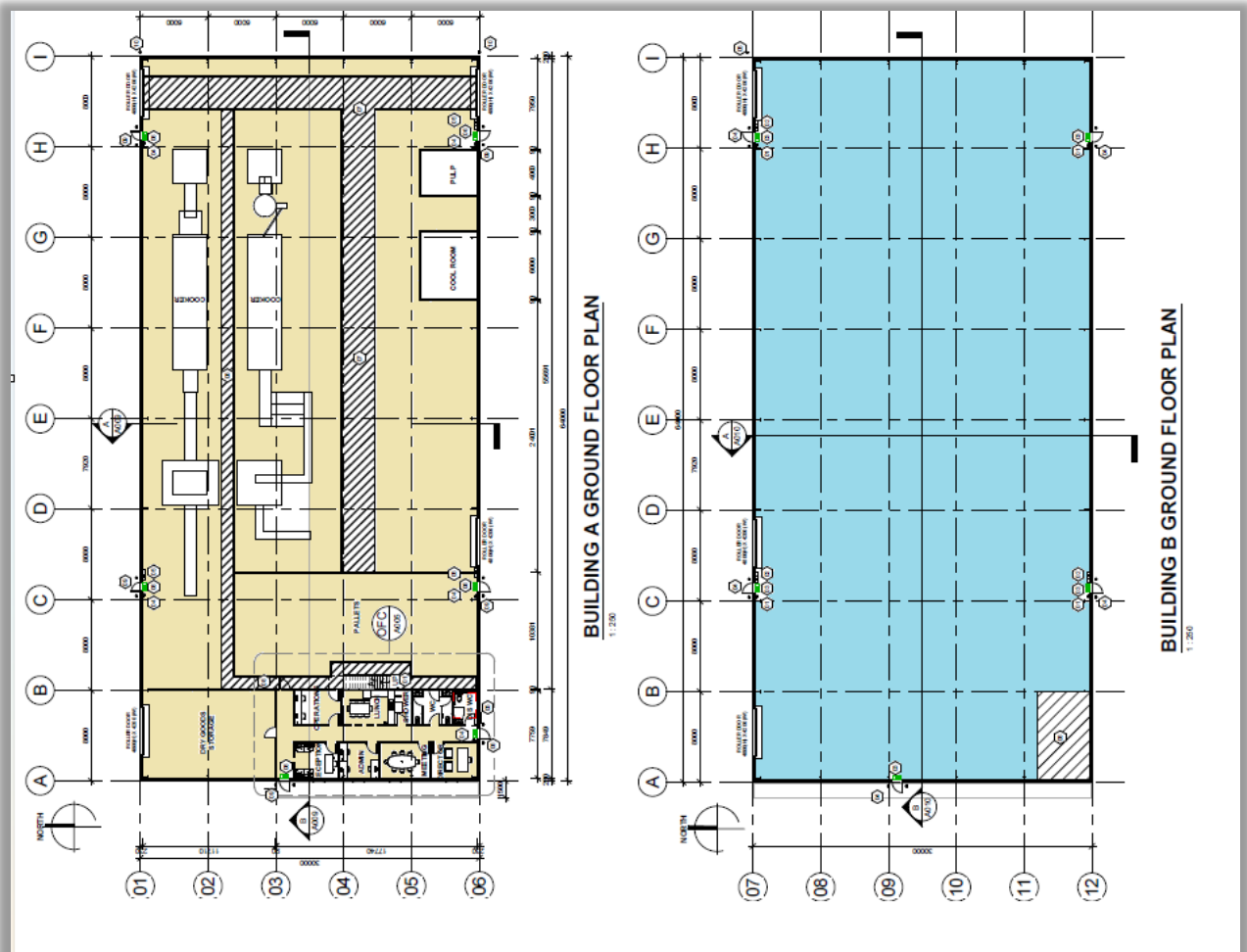
Each building will be setback comfortably from boundaries for Local & BCA compliance

- | | | |
|--------------|---|--|
| North (side) | - | 10m (Building A) |
| South (side) | - | 8.5m (Building B) |
| West (front) | - | 17.2m (Buildings A & B) |
| East (rear) | - | 93.2 (Building A at closest), 14.7m to Organics 10m x 10m shed |

For BCA purposes, each Type C structure exceeds 2m from each other and from boundaries which serve as fire source features, therefore the development is prima facie compliant externally. The closest buildings to a side setback is 8.5m to the southern boundary which is the side of the Building B, thereby causing no relative amenity loss or concern for future neighbouring developments – adjacent are vacant presently..

As will be discussed below, compliance with Council flood controls is reasonable with standard construction on a worked up building pad as the majority of the site is already above the mapped affected area in the south east rear corner of the site. At worst, the building may need to be raised on a building pad of approximately 300mm – 500mm from natural as exists.

Sheet A009 has been included with the Plan set to give an indication of future development potential yet should in no way be construed to be part of this application.



Floor Layouts laid out beside each other

Hours of Operation

Currently the hours of operation are;

The processing factory (equivalent to Building A) operates Monday-Friday from 7:00 am – 5:00 pm all year round.

The grading shed (equivalent to Building B) operates from April – September every year and the working hours are Monday – Friday 7:00am – 5:00pm. This depends on how much product is purchased each year. First staff operations on site for start up at 5am. All out by 6pm.

Growth of operations may see a lunch to midnight shift as a future dependant upon markets, supply and economics. This is why the move to an Industrial Area so flexibility will lie with the Company to extend with business expansion.

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## Our History

Following the return of the ANZACs and the various soldier settlement schemes, Verity was established in 1927 as a Co-op in Young, NSW.

**Nearly 100 years later, Verity remains based in Young, as a 100% Australian Owned company with 100% Australian Grown produce.**

We are committed to providing locally sourced, healthy, and delicious prunes of the highest quality, because just like you, we believe that your family deserves the best.

## C. Compliance with Planning Controls

### Young Local Environmental Plan 2010

The primary environmental planning instrument over this land is Young Local Environmental Plan 2010. A planning portal report has been extracted from NSW Planning and this is attached in the appendices. The land is **zoned E4 – General Industrial**.

The objectives of this zone and this proposals consistency with these is stated.

| E4 Land Use Table Objectives Analysis |                                                                                                                                                                              |                                                                                                              |
|---------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|
| 1                                     | <ul style="list-style-type: none"><li>To provide a range of industrial, warehouse, logistics and related land uses.</li></ul>                                                | Specifically designed for this purpose - CONSISTENT                                                          |
| 2                                     | <ul style="list-style-type: none"><li>To ensure the efficient and viable use of land for industrial uses.</li></ul>                                                          | Permissible development in a site designed way - CONSISTENT                                                  |
| 3                                     | <ul style="list-style-type: none"><li>To minimise any adverse effect of industry on other land uses.</li></ul>                                                               | Proposal is designed conducive to the site with a presentation or prominence up from the street - CONSISTENT |
| 4                                     | <ul style="list-style-type: none"><li>To encourage employment opportunities.</li></ul>                                                                                       | This is the outcome of the application - CONSISTENT                                                          |
| 5                                     | <ul style="list-style-type: none"><li>To enable limited non-industrial land uses that provide facilities and services to meet the needs of businesses and workers.</li></ul> | N/A                                                                                                          |

Is development permissible within the zone? Yes

The range of permitted and prohibited uses is listed below;

#### 3 Permitted with consent

Building identification signs; Business identification signs; Depots; Freight transport facilities; Garden centres; General industries; Goods repair and reuse premises; Hardware and building supplies; Industrial retail outlets; Industrial training facilities; Kiosks; Landscaping material supplies; Light industries; Local distribution premises; Neighbourhood shops; Oyster aquaculture; Plant nurseries; Roads; Rural supplies; School-based child care; Shops; Specialised retail premises; Take away food and drink premises; Tank-based aquaculture; Timber yards; Vehicle sales or hire premises; Warehouse or distribution centres; **Any other development not specified in item 2 or 4**

The development is designed as an **agricultural produce industry** as defined below;

**agricultural produce industry** means a building or place used for the handling, treating, processing or packing, for commercial purposes, of produce from agriculture (including dairy products, seeds, fruit, vegetables or other plant material), and includes wineries, flour mills, cotton seed oil plants, cotton gins, feed mills, cheese and butter factories, and juicing or canning plants, but does not include a livestock processing industry.

*Note - Agricultural produce industries are a type of rural industry—see the definition of that term in this Dictionary.*

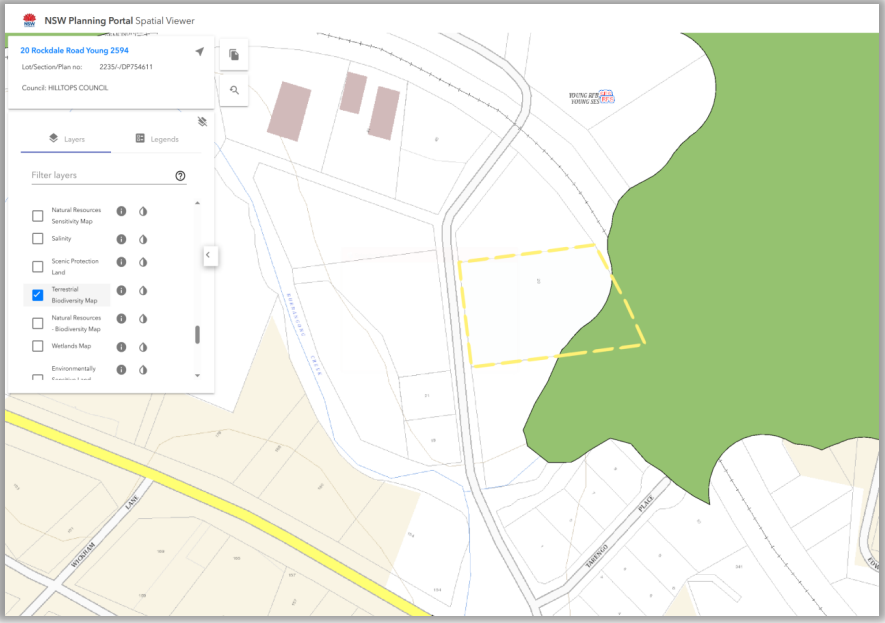
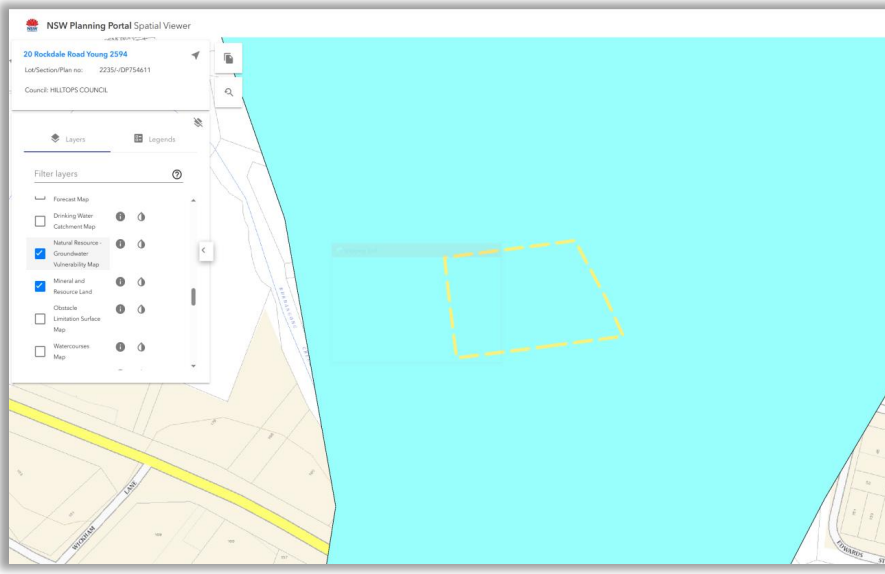
The Compliance Table below provides a summary of the relevant standards and these are addressed relevant to the broadness of possible usability anticipated.



| Clause           | Complies | Comments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------|----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.2 Aims of plan | Yes      | <p>The development is consistent with the following aims of the LEP:</p> <p>(a) to advance the environmental, economic, and social goals of Hilltops,</p> <p>(b) to provide for the lifestyles sought by current and future residents of Hilltops, including by providing for the following—</p> <ul style="list-style-type: none"> <li>(i) the rural lifestyle and liveability of Hilltops communities,</li> <li>(ii) connected, safe and accessible communities,</li> <li>(iii) diverse and affordable housing options,</li> <li>(iv) timely and efficient provision of infrastructure,</li> <li>(v) sustainable building design and energy efficiency,</li> </ul> <p>(c) to build and sustain healthy, diverse, and empowered communities that actively participate in planning and managing their future, including by providing for the following—</p> <ul style="list-style-type: none"> <li>(i) social infrastructure that is appropriately planned and located in response to demand and demographic change,</li> <li>(ii) the protection and enhancement of cultural heritage values,</li> <li>(iii) land management practices that support sustainable outcomes, including water efficiency,</li> <li>(iv) the siting and arrangement of land uses for development in response to climate change,</li> <li>(v) the planning of development to manage emissions,</li> <li>(vi) planning decisions that recognise the basic needs and expectations of diverse community members,</li> </ul> <p>(e) to recognise and sustain the diverse natural environment and natural resources that support the liveability and economic productivity of Hilltops, including by providing for the following—</p> <ul style="list-style-type: none"> <li>(i) the avoidance of further development in areas with a high exposure to natural hazards,</li> <li>(ii) the minimisation of alterations to natural systems, including natural flow regimes and floodplain connectivity, through effective management of riparian environments,</li> <li>(iii) the retention and protection of remnant vegetation,</li> <li>(iv) the revegetation of endemic vegetation to sustain natural resource values, reduce the impact of invasive weeds and increase biodiversity,</li> <li>(v) buffers and setbacks to minimise the impact of conflicting land uses and environmental values, including potential impacts on noise, water, biosecurity, and air quality,</li> <li>(vi) the management of water on a sustainable and total water cycle basis to provide sufficient quantity and quality of water for consumption, while protecting biodiversity and the health of ecosystems</li> </ul> <p>The remainder of the aims are not relevant to this proposal, or are not impacted by the proposal.</p> |
| 1.4 Definitions  | N/A      | <p>The proposed development is defined as <b><i>agricultural produce industry</i></b> which is defined per the above.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |

| Clause                                                                                                   | Complies | Comments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|----------------------------------------------------------------------------------------------------------|----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.9A Suspension of covenants, agreements, and instruments                                                | Yes      | There exists no restrictions as to user as the land is an original Parish Parcel from creation circa 1921. Plan attached with no restrictions.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 2.2 Zoning                                                                                               | N/A      | The site is zoned E4 General Industrial                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 2.3 Zone objectives and land use table                                                                   | Yes      | The development is permitted with consent, in accordance with the land use table, and it is consistent with the objectives of the zone as stated above.<br><br>See LUT statement above                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 2.7 Demolition                                                                                           | N/A      | No demolition proposed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 2.8 Temporary use of land                                                                                | N/A      | The application is not for the temporary use of land.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 4.1 Min Subdiv Lot Size                                                                                  | N/A      | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| 4.1A Dual Occupancy Lot sizes                                                                            | N/A      | n/a                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| 4.6 Exceptions to development standards                                                                  | N/A      | Development permissible so no variation sought                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 5.4 Other development controls                                                                           | N/A      | Development type not stated                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| 5.10 Heritage Conservation                                                                               | N/A      | The allotment, its buildings, nor adjacent land nor buildings in locality are listed as Heritage nor in a HCA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 5.16 Subdivision of, or dwellings on, land in certain rural, residential or environment protection zones | N/A      | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| 6.1 Earthworks                                                                                           | OK       | Minor localised building pad, lifting site, not cutting it.<br><br>Sedimentation and erosion control measures shall be put in place during construction.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 6.2 Essential Services                                                                                   | Complies | Development consent must not be granted to development unless the consent authority is satisfied the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required —<br>(a) the supply of water, <b>available at front of site on application to Hilltops Shire required, also GFCC for water meter and fire service</b><br>(b) the supply of electricity, <b>available at front of site on application to Essential Energy</b><br>(c) the disposal and management of sewage, <b>pumped sewer available at front of site on application to Hilltops Shire (connections believed to require a pump discharge so tank and pod with pusher pump after Grease Trap, on site)</b><br>(d) stormwater drainage or on-site conservation, <b>design reqd pre CC – to front of site</b><br>(e) suitable road access <b>Sealed road at frontage – entry exists. New vehicle entry &amp; exit to be provided.</b> |



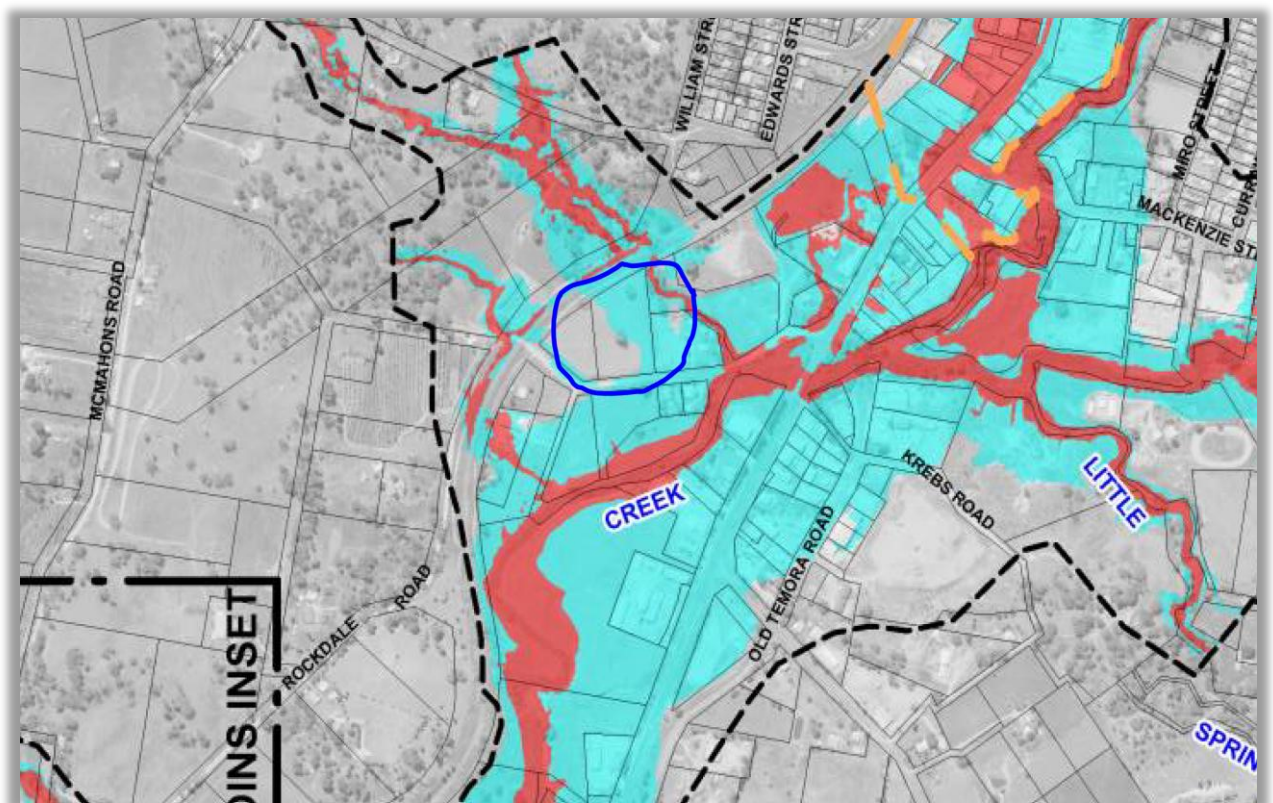
| Clause                                | Complies | Comments                                                                                                                                                                                                          |
|---------------------------------------|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 6.3 Terrestrial Biodiversity          | N/A      | <p>Site is mapped this attribute yet away from the location of development. No impact on mapped area.</p> <p>Two isolated paddock trees exist, central tree to be removed and replaced in landscaping at 2:1.</p> |
|                                       |          |                                                                                                                                |
| 6.4 Water - Riparian                  | N/A      | Site not mapped this attribute                                                                                                                                                                                    |
| 6.5 Water – Groundwater Vulnerability | N/A      | <p>Site is mapped this attribute as the locality is within the microcatchment of Burrangong Creek nearby. No site inputs proposed and sed/erosion control to be used so should not have influence.</p>            |
|                                       |          |                                                                                                                               |
| 6.6 Salinity                          | N/A      | Not mapped as affected                                                                                                                                                                                            |

| Clause                                                        | Complies | Comments                       |
|---------------------------------------------------------------|----------|--------------------------------|
| 6.7 Highly Erodible Soils                                     | N/A      | Not mapped as affected         |
| 6.8 Drinking Water Catchments                                 | N/A      | N/A                            |
| 6.9 Development along Lachlan & Boorowa Rivers & Lake Wyangla | N/A      | N/A                            |
| 6.10 Development on Carinya Estate                            | N/A      | N/A                            |
| 6.11 DCP for Urban Release Areas                              | N/A      | Site not mapped this attribute |

### Section 5.21 LEP – Flood Planning – Specific Commentary

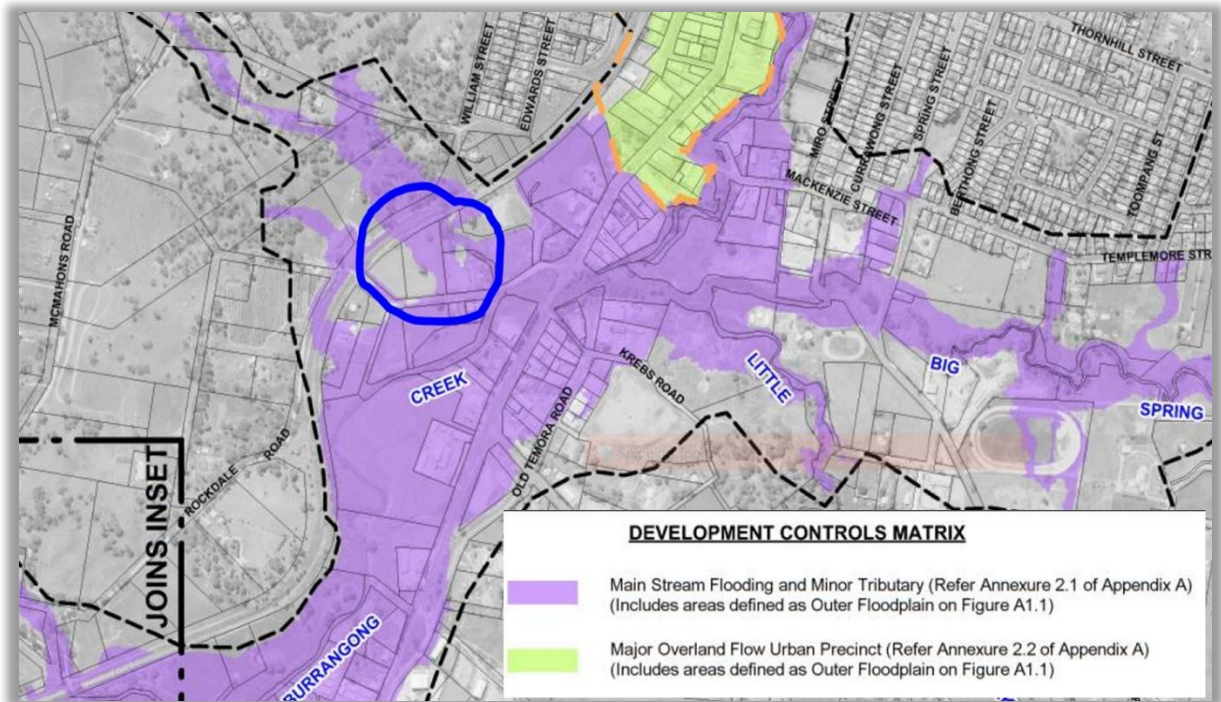
The November 2015 Flood Study undertaken for Young Shire Council by Lyall & Associates/Nexus Environmental Planning, and was subsequently adopted.

From this map and policy set, it is important to establish if the Flood Planning Level provision of the LEP applies and then subsequent controls as set forth from this point. The critical extracts are reproduced below;

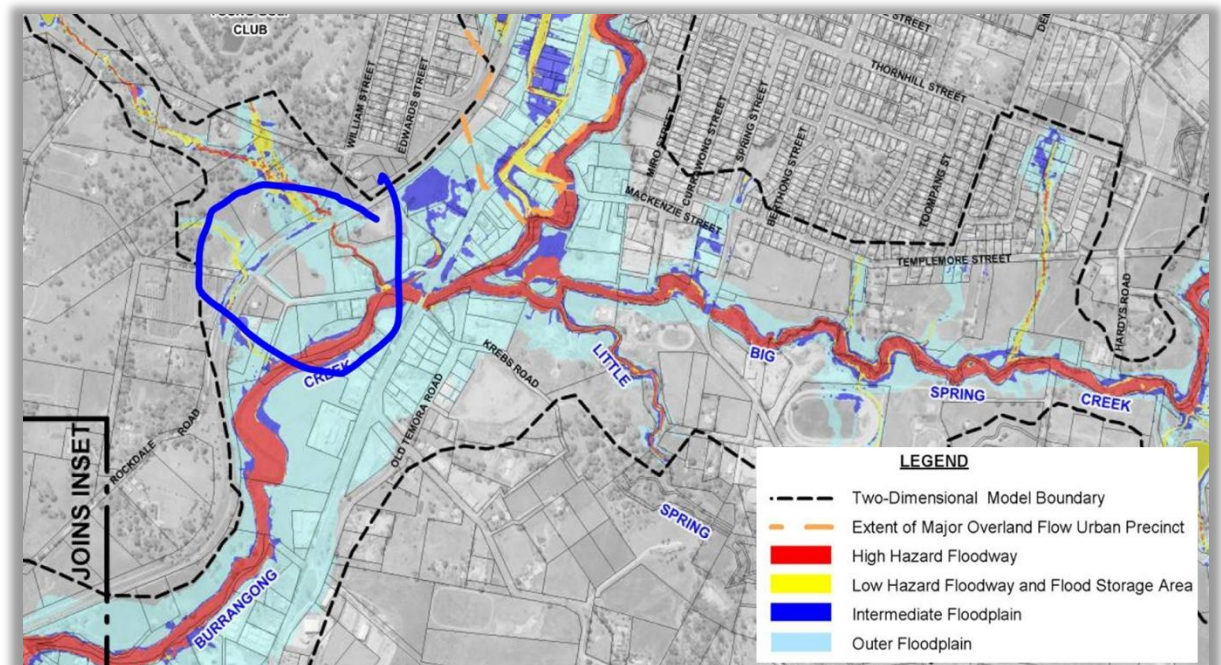


Flood Planning Area – site has some white shading – investigation in policy continues

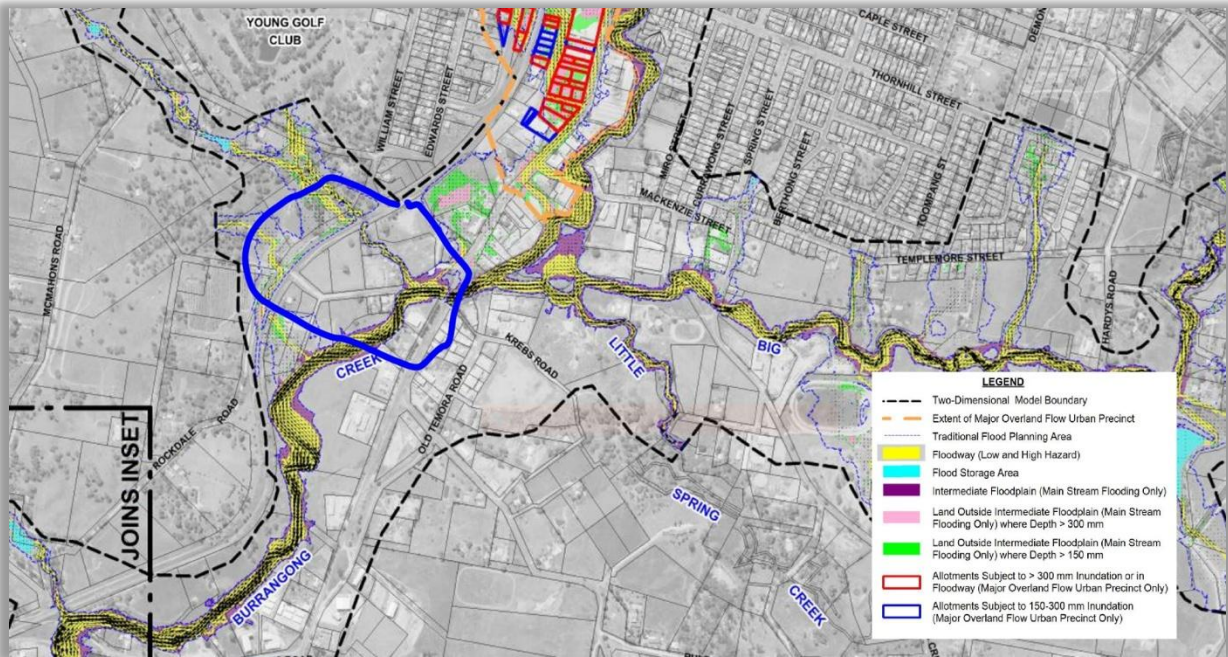




Controls Under Table 2.1 – Volume 1 Apply



Outer Flood Plain



No actual depth defined on model  
Assume Ground Floor Level of Development to be 300mm above natural

ANNEXURE 2.1  
DEVELOPMENT CONTROLS MATRIX - MAIN STREAM AND MINOR TRIBUTARY FLOODING

|                       | Outer Floodplain               |                             |                              |             |                                  |                            |                          |                               | Intermediate Floodplain        |                             |                              |             |                                  |                            |                          |                               | Low Hazard Floodway and Flood Storage Areas |                             |                              |             |                                  |                            |                          |                               | High Hazard Floodway           |                             |                              |             |                                  |                            |                          |                               |
|-----------------------|--------------------------------|-----------------------------|------------------------------|-------------|----------------------------------|----------------------------|--------------------------|-------------------------------|--------------------------------|-----------------------------|------------------------------|-------------|----------------------------------|----------------------------|--------------------------|-------------------------------|---------------------------------------------|-----------------------------|------------------------------|-------------|----------------------------------|----------------------------|--------------------------|-------------------------------|--------------------------------|-----------------------------|------------------------------|-------------|----------------------------------|----------------------------|--------------------------|-------------------------------|
|                       | Essential Community Facilities | Critical Utilities and Uses | Flood Vulnerable Residential | Residential | Business & Commercial/Industrial | Non-Urban and Outbuildings | Residential Sub-Division | Minor Additions (Residential) | Essential Community Facilities | Critical Utilities and Uses | Flood Vulnerable Residential | Residential | Business & Commercial/Industrial | Non-Urban and Outbuildings | Residential Sub-Division | Minor Additions (Residential) | Essential Community Facilities              | Critical Utilities and Uses | Flood Vulnerable Residential | Residential | Business & Commercial/Industrial | Non-Urban and Outbuildings | Residential Sub-Division | Minor Additions (Residential) | Essential Community Facilities | Critical Utilities and Uses | Flood Vulnerable Residential | Residential | Business & Commercial/Industrial | Non-Urban and Outbuildings | Residential Sub-Division | Minor Additions (Residential) |
| Floor Level           | 1                              | 1                           | 1                            | 1           | 1                                | 1                          | 1                        | 1                             | 1                              | 1                           | 1                            | 1           | 1                                | 1                          | 1                        | 1                             |                                             |                             |                              |             |                                  |                            |                          |                               |                                |                             |                              |             |                                  |                            |                          |                               |
| Building Components   | 2                              | 2                           |                              |             |                                  |                            |                          |                               | 2                              | 2                           | 1                            | 1           | 1                                |                            |                          | 1                             |                                             |                             |                              |             |                                  |                            |                          |                               |                                |                             |                              |             |                                  |                            |                          |                               |
| Structural Soundness  | 2                              | 2                           |                              |             |                                  |                            |                          |                               | 2                              | 2                           | 1                            | 1           | 1                                |                            |                          | 1                             |                                             |                             |                              |             |                                  |                            |                          |                               |                                |                             |                              |             |                                  |                            |                          |                               |
| Flood Affection       |                                |                             |                              |             |                                  |                            |                          |                               |                                |                             |                              |             |                                  |                            |                          |                               |                                             |                             |                              |             |                                  |                            | 1                        |                               |                                |                             |                              |             |                                  | 1                          |                          |                               |
| Evacuation / Access   | 1                              | 1                           | 1                            |             |                                  |                            |                          |                               | 1                              | 1                           | 1                            |             |                                  |                            |                          |                               |                                             |                             |                              |             |                                  |                            |                          |                               |                                |                             |                              |             |                                  |                            |                          |                               |
| Management and Design | 2.3                            | 2.3                         | 5                            |             |                                  |                            |                          |                               | 2.3                            | 2.3                         | 5                            |             | 4                                |                            | 1                        | 6                             |                                             |                             |                              |             |                                  |                            | 3.7                      |                               |                                |                             |                              |             |                                  | 3.7                        |                          |                               |

Not Relevant Unsuitable Land Use

Main Stream Flooding applies for inundation of land bordering Burrangong Creek and its major tributaries (Sawpit Gully, Victoria Gully, Petticoat Gully, Little Spring Creek and Big Spring Creek).

Minor Tributary Flooding applies for inundation of land bordering the minor watercourses which drain the relatively steep slopes bordering Burrangong Creek and its major tributaries.

The Intermediate Floodplain is defined by the area between the Floodway and Flood Storage zones and the Flood Planning Area (FPA). The Outer Floodplain is the area between the FPA and the Probable Maximum Flood.

See Notes over page:

Table 2.1 Flood Policy – see highlighted column



**ANNEXURE 2.1 (CONT'D)**  
**DEVELOPMENT CONTROLS MATRIX - MAIN STREAM AND MINOR TRIBUTARY FLOODING**

**Floor Level**

1. Floor levels to be equal to or greater than the FPL (100 year ARI flood level plus 500 mm freeboard).

**Building Components**

1. All structures to have flood compatible building components below FPL.
2. All structures to have flood compatible building components below PMF flood level (where PMF level is higher than FPL).

**Structural Soundness**

1. Structure to be designed to withstand the forces of floodwater, debris and buoyancy up to FPL.
2. Structure to be designed to withstand forces of floodwater, debris and buoyancy up to PMF flood (where PMF level is higher than FPL).

**Flood Affection in Adjacent Areas**

1. A Flood Risk Report may be required to demonstrate that the development will not increase flood hazard (see Item 7 Management and Design below).  
**Note:** When assessing Flood Affection the following must be considered:
  - i. Loss of conveyance capacity in the floodway or areas where there is significant flow velocity.
  - ii. Changes in flood levels and flow velocities caused by the alteration of conveyance of floodwaters.

**Evacuation/ Access**

1. Reliable access for pedestrians or vehicles required in the event of 100 year ARI flood.

**Management and Design**

1. Applicant to demonstrate that potential developments as a consequence of a subdivision proposal can be undertaken in accordance with this Policy and the Plan.
2. Applicant to demonstrate that facility is able to continue to function in event of PMF.
3. No external storage of materials which may cause pollution or be potentially hazardous during PMF.
4. Where it is not practicable to provide floor levels to FPL, applicant is to provide an area to store goods at that level.
5. Applicant is to provide an area to store valuable equipment above FPL (level to be advised by Council) – see Section A2.8.
6. Where it is not practicable to provide floor levels to FPL, Council may allow a reduction for minor additions to habitable areas – see Section A2.11.
7. Flood Risk Report may be required prior to development of this nature in this area – see Sections A2.16.2 and A2.16.3.

**NOTE: THESE NOTES ARE TO BE READ IN CONJUNCTION WITH REMAINDER OF THE FLOOD POLICY, IN PARTICULAR CHAPTER 2.**

**Floor level – 300mm above surrounding natural ground required.**

In summary, parts of the land are identified in a Flood Planning Level area, it does have controls under the matrix – being floor height for new development. The rear corner of the site is mapped, however incorporating the precautionary principle applied in the policy, being a nominal area, new floor levels should be 300mm above existing ground levels.

Upon introducing material to create a suitable building pad plus a reasonable soffit between surrounding levels and FFL – 300mm will be readily achieved. No extraneous Flood Study work is therefore required.

Verification by a Surveyor that the floor levels are considerably higher than FPL + 300mm can be arranged pre-CC or stage of construction.



## OTHER LEGISLATIVE OBLIGATIONS

### GENERAL REQUIREMENTS OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

#### **1.7 Application of Part 7 of Biodiversity Conservation Act 2016 and Part 7A of Fisheries Management Act 1994**

As per these sections of the above Acts, it is not considered that the development is likely to significantly affect threatened species, populations, or ecological communities, because:

##### Biodiversity Conservation Act 2016

- the development will not significantly affect threatened species or ecological communities, or their habitats, according to the test in section 7.3, as there are no trees and shrubs to be removed, there are no threatened ecological communities on the site, the development will not adversely impact the life cycle or habitat of any of the threatened species that may occur in the region, and the development is not a key threatening process. [7.2(1)(a)],
- the development does not exceed the biodiversity offsets scheme thresholds (is not mapped as high biodiversity value on the Biodiversity Values Map and does not exceed the clearing threshold) [7.2(1)(b)],
- the site has not been declared as an area of outstanding biodiversity value [7.2(1)(c)].
- See also mapping in earlier LEP section marked BOSET/BDAR

##### Fisheries Management Act 1994

- as per the seven-part test under section 221ZV of the Act, there are no threatened species, populations or ecological communities, occurring on-site, or are known to be in the area, there is no declared critical habitat in the region and the development is not a key threatening process.

#### **4.10 Designated development**

This development is not a category of designated development, under Schedule 3 of the *Environmental Planning and Assessment Regulation 2000*.

#### **4.36 Development that is State significant development**

The development is not State significant development, as it is not identified in *State Environmental Planning Policy (State and Regional Development) 2011*.

#### **3 Agricultural produce processing facilities**

- (1) Development for the purposes of an agricultural processing facility is designated development if the facility—
  - (a) involves crushing, juicing, grinding, ginning, milling, separating, washing, sorting, coating, rolling, pressing, steaming, flaking, combing, homogenising and pasteurising more than 30,000 tonnes of agricultural produce per year, or
  - (b) releases effluent, sludge or other waste—
    - (i) in or within 100 metres of a natural waterbody or wetland, or
    - (ii) in an area of high watertable, highly permeable soils or acid sulfate, sodic or saline soils.
- (2) In this section—

**agricultural processing facility** means a building or place at which agricultural produce is processed.

**agricultural produce** includes dairy products, seeds, fruit, vegetables or other plant material.

**The applicant presently processes approximately 2,000 tonnes per annum with 11 discharges to sewer. NOT Designated Development**

#### **4.46 Integrated development**

The building is proposed to be erected and site developed, yet does not conflict with a waterway, an activity or otherwise.

#### **Aboriginal/Indigenous Cultural Heritage**

A search under this mapping revealed that no item was identified on the AHIMs database, nor is the property within sensitive land per the Young Aboriginal Cultural Heritage Study as mapped. These searches are in the Appendix to this report.



**Rockdale Rd back toward Boorowa Street**



**Rockdale Rd to Allied Grain past front of site**

## **SECTION 4.15 CONSIDERATIONS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979:**

### ***State Environmental Planning Policies (SEPPs)***

Several SEPPs apply to the land, however, only the following have any relevance to the proposed development:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022) – ***not exceed clearing threshold this zone***
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021) – ***not on mapped land***
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008) – ***pathway not available***
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021) ***not applicable***
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021) ***Consistent with SEPP & Dev Stds with regard to signage***
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021) ***not specifically applicable***
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021) ***Not applicable***
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021) ***Not formerly orchard nor contaminated***
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021) ***Not adjacent assets or infrastructure which are in public land at front***
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022) – ***Will be Sec J applicable under BCA therefore comply via that method but < \$5million***
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021) ***May need referral as buildings combined exceed 2000 sq.m and may be deemed traffic generating. Notwithstanding low total traffic volume regardless.***

### **DRAFT LEP's ?**

Currently Council has received Gateway, advertised and considered amendments to its LEP for Housekeeping matters, including changes to the LEP in the E4 zone;

Critical changes in Part 1 of proposals table are item 3 & 4 below

| Table 1. Hilltops LEP Housekeeping Amendment 2024               |                                                                                                                  |
|-----------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|
| Amendment #                                                     | Proposed change                                                                                                  |
| Land Use Permissibility amendments:                             |                                                                                                                  |
| 1                                                               | R1 General Residential: Remove permissibility of 'Shops'                                                         |
| 2                                                               | R1 General Residential: permit 'Home Industry' and prohibit 'light Industry'.                                    |
| 3                                                               | E4 General Industrial: Remove 'School-based Childcare'                                                           |
| 4                                                               | E4 General Industrial: remove permissibility of 'shops' and 'neighbourhood shops'                                |
| 5                                                               | E3 Productivity Support: remove permissibility of 'animal boarding', 'office premises' and 'neighbourhood shops' |
| SP2 Land Use Zoning Mapping Alignment Adjustment                |                                                                                                                  |
| 6                                                               | Re-alignment of the SP2 Zone covering Saines Road, Young with the Blaney to Demondrille railway corridor.        |
| Addition of Part 5 Miscellaneous Provisions Clause: Clause 5.22 |                                                                                                                  |



## **YOUNG DEVELOPMENT CONTROL PLAN EVALUATION**

SEE OVER

This DCP was specifically written for applicability to Young LEP 2010 which for the most part is superceded. Its applicability to Hilltops LEP 2022, is questionable yet assessed.

Thereafter however, the Draft Hilltops DCP is assessed also.

## Young Development Control Plan 2011 (YDCP)

You should provide an assessment of your proposal against the YDCP 2011 by completing the relevant sections of the Compliance Table below.

The Compliance Table below provides a summary of the relevant controls. Please refer to the YDCP if you require clarification of the control.

| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| Clause                                                                                                                                                        | Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | If non-compliance state and address                                                    |
| <b>Food Premises – Additional Provisions</b> These controls apply to a food premises in any zone.                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                        |
|                                                                                                                                                               | <p>Where a kiosk is proposed in conjunction with an industry the following controls apply:</p> <ul style="list-style-type: none"> <li>• Food preparation and storage to enable easy cleaning;</li> <li>• Food premises should comply with the Australian Standard for Food Premises (AS 4674);</li> <li>• Provide customer sanitary facilities as per BCA;</li> <li>• Comply with Council's Trade waste Policy.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                  | <b>No kiosk or food preparation anticipated</b>                                        |
| <b>Heritage Conservation Area Provisions</b> These controls apply to a development in any zone affected by a heritage item or conservation zone.              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                        |
|                                                                                                                                                               | Any development of a heritage item should be in accordance with the guidelines from the Heritage Office: Design in Context: Guidelines for infill development in Historic Environment.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>No heritage item on the property and premises not identified in SHR, SHI or LEP</b> |
|                                                                                                                                                               | Provide a heritage impact statement for development adjacent to a heritage item.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>n/a</b>                                                                             |
| <b>Enterprise Corridor (B6) and Business Park (B7) Zones – Additional Provisions</b> - These controls apply to industrial development in (B6) and (B7) zones. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                        |
|                                                                                                                                                               | <ul style="list-style-type: none"> <li>• Site signage (other than on a building) to be consolidated into a single pylon sign contained within the site;</li> <li>• Avoid direct access from the Olympic Highway;</li> <li>• Access and egress to the site to be in a forward direction;</li> <li>• Access, parking and signage to comply with RTA standards (referral to RTA required);</li> <li>• Any façades visible from the Olympic Highway to be constructed of brick, decorative masonry, glass or other quality materials;</li> <li>• Maximum floor space ratio (FSR) of 0.5:1;</li> <li>• Parking to be available which is visible from the street frontage Including in front of the building;</li> <li>• Existing canopy trees to be protected and incorporated into site landscaping;</li> </ul> | <b>Not B6 or B7 zone</b>                                                               |

| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|---------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Clause                                                                                      | Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | If non-compliance state and address                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|                                                                                             | <ul style="list-style-type: none"> <li>Landscaping to be provided over at least 50% of land between the building and the Olympic Highway including canopy trees;</li> <li>Buildings to be set back at least 15m from the Olympic Highway street frontage and 5m from any side boundary;</li> </ul>                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>Industrial Development</b> - These controls apply to industrial development in any zone. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| Servicing                                                                                   | <ul style="list-style-type: none"> <li>All industrial allotments to be serviced by underground electricity, water, sewer and telecommunications in accordance with the relevant authorities' requirements and relevant Australian Standards;</li> <li>Development to provide a rainwater tank to amenities;</li> <li>Separate occupancies to have separate sanitary and stormwater drainage lines;</li> <li>Developments comply with Council's trade waste policy.</li> </ul> | <p><b>Anticipated and development has these provided.</b></p> <p><b>Not provided yet water use is expected to be low or equivalent from existing site. A transfer of ET's from current site to proposed may be sought.</b></p> <p><b>Will be designed for</b></p> <ul style="list-style-type: none"> <li>Verity fruits use on average 500-700KL of water quarterly. (Note – new system better tech)</li> <li>Steamed fruit water discharge will be via a grease/grit arrestor then to pump pod then to sewer</li> <li>discharge to sewer will be for toilets/kitchenette for staff also</li> </ul> |
| Access and Parking                                                                          | <ul style="list-style-type: none"> <li>Access aisles, manoeuvring areas and parking should be in accordance with Council's <u>Engineering Guidelines for Subdivision and Development</u>;</li> <li>Access driveways within the road reserve to be constructed of concrete;</li> <li>Kerb and guttering and footpath to be provided to all road frontages of the development,</li> </ul>                                                                                       | <p><b>Compliance is demonstrated on plans attached in the appendices and commensurate with the DCP obligations – not considered high volume or particularly traffic generating in nature.</b></p> <p><b>The main access to the development is a concrete finish from road edge to all parking areas.</b></p> <p><b>New delivery vehicle entry &amp; exit to also be concrete and at crossover.</b></p> <p><b>Kerb and gutter plus sealed roads at frontage – existing</b></p>                                                                                                                      |



| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                   |
|----------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Clause                                                               | Control                                                                                                                                                                                                                                                                                                                                                                                                                                                 | If non-compliance state and address                                                                                                                                                                                                                                                                                               |
|                                                                      | <ul style="list-style-type: none"> <li>Customer and visitor parking to be clearly signed and is located at the front of the development, towards the primary street frontage.</li> <li>Vehicle access and egress is to be in a forward direction.</li> <li>Appropriate separation is provided between customers / visitors and the operational areas of the site.</li> <li>A clearly identified point of customer/visitor entry is provided;</li> </ul> | <p><b>Will be clear parking area central to development<br/>10 new required – 9 current staff (at capacity) with potential to double. DCP states 1 parking space per 2 employees</b></p> <p><b>Complies</b><br/><b>Complies</b></p> <p><b>Complies</b></p>                                                                        |
| Setbacks                                                             | <ul style="list-style-type: none"> <li>Minimum front setback of 15 m (from a classified road frontage) and a setback of at least 6 m is provided from any other road;</li> <li>Minimum setback to rear boundary of at least 5 m (unless the building is constructed to the boundary);</li> </ul>                                                                                                                                                        | <p><b>Minimal setback or 17.2m front building line proposed consistent with DCP</b></p> <p><b>Compliant</b></p> <p><b>All other setbacks comply.</b></p>                                                                                                                                                                          |
| Buffers                                                              | <p>Buildings adjoining non-industrial development:</p> <ul style="list-style-type: none"> <li>To be set back a minimum of 10 m from the property boundary;</li> <li>Do not have a wall height exceeding 8m;</li> <li>Do not produce any additional overshadowing of the adjoining property between the hours of 9am-3pm on the 21st June.</li> </ul>                                                                                                    | <p><b>Set within the zone</b></p>                                                                                                                                                                                                                                                                                                 |
| Noise and Vibration                                                  | <ul style="list-style-type: none"> <li>Building design and machinery to minimise any noise emissions;</li> <li>If possible, locate machinery within buildings or other acoustic treatment structures;</li> <li>Openings to the building which are usually open during operations should be directed away from sensitive receivers such as residential housing;</li> </ul>                                                                               | <p><b>During construction there will be earthworks, access construction and building impacts. Construction is very contemporary and short interval build time. Earthworks machinery should not impact on neighbours as a result of distance from neighbouring developments, be it residential or neighbouring industrial.</b></p> |

| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                              |
|----------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Clause                                                               | Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | If non-compliance state and address                                                                                                                                                                                                                                          |
|                                                                      | <ul style="list-style-type: none"> <li>Building design and machinery installation to prevent vibration transmission to adjoining properties or public areas;</li> <li>The operating noise level of plant and equipment should not exceed 5dBA above the background noise level when measured from the property boundary.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <p><b>Longer term there will be no greater impacts than currently experienced (present site within an R1 zone currently sdo machinery ointernal of shed would be OK in mid Industrial area.</b></p> <p><b>Will comply at property boundary in an Industrial area</b></p>     |
| General Design                                                       | <ul style="list-style-type: none"> <li>The majority of offices and/or customer areas and/or staff facilities to be located to address the primary road frontage and to be located in a part of the building that does not exceed one storey in height.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Complies</b>                                                                                                                                                                                                                                                              |
| Façade Treatment                                                     | <ul style="list-style-type: none"> <li>The front façade of the building to be constructed from: <ul style="list-style-type: none"> <li>- face brick or decorative masonry block; or</li> <li>- timber panelling, pre-coloured metal cladding, and glazing in conjunction with at least 30% of brick or masonry block.</li> </ul> </li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <p><b>Compliant as designed – 50% relief in a change up of building materials and styles</b></p> <p><b>This is considered a desirable outcome per the DCP.</b></p>                                                                                                           |
| Landscaping and Fencing                                              | <ul style="list-style-type: none"> <li>Landscaping to be selected from schedule of tree species. <u>Refer to Appendix G of this DCP;</u></li> <li>Landscaping to be provided to the primary street frontage(s) and to occupy 20% of the front building setback;</li> <li>Vegetation to be planted should be a mixture of semi-mature species and seedlings/tube stock;</li> <li>Canopy trees to be provided on properties located on classified roads between the front boundary and the building line;</li> <li>Fencing to be of a uniform colour and material along all common boundaries;</li> <li>Solid fencing should be no more than 1.8m above the finished ground level;</li> <li>Maximum fence height of 2.4m</li> <li>Additional fencing, screen walls or screen vegetation to be provided to conceal unsightly areas from neighbour or public view;</li> </ul> | <p><b>Landscaping Plan may be required pre CC yet in an Industrial area so front of site functionality in height and sizes will be utilised.</b></p> <p><b>Fencing will be 2400mm galvanised chain-wire fencing which is the standard common to the industrial area.</b></p> |

| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                |
|----------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Clause                                                                                                               | Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | If non-compliance state and address                                                                                                                                                                                                                                                                                            |
|                                                                                                                      | <ul style="list-style-type: none"> <li>Fencing to a street or other public place is of open and durable construction.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                |
| Signage:                                                                                                             | <ul style="list-style-type: none"> <li>Signage to be located to show business names but without detracting from the appearance of the area or causing issues for adjoining properties, road users, or others in the surrounding area.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                  | <b>Signage will be as indicated in the appendices with colour palette layout and design nominated.</b>                                                                                                                                                                                                                         |
| <b>Village Development – Zone RU5</b> These controls apply to light industrial development in the RU5 zone.          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                |
|                                                                                                                      | <ul style="list-style-type: none"> <li>Commercial or industrial uses to be constructed with pre-painted metal with unpainted metal type finishes avoided.</li> <li>All-weather parking areas to be provided;</li> <li>Where there is no sewer available, the development is to comply with Council's Policy with respect to the <u>On-Site Management of waste disposal</u>. Properties with an area of less than 1ha to provide geotechnical information showing the feasibility of on-site management;</li> <li>Where no reticulated water supply is available, roof areas and tanks to be provided.</li> </ul> | <b>Not RU5</b>                                                                                                                                                                                                                                                                                                                 |
| <b>Car parking and Vehicle Access</b> – these controls show the required parking rate for any industrial development |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                |
| Parking Rates                                                                                                        | <u>Warehouse / Distribution Centre</u> – 1 space / 100m <sup>2</sup> of gross leasable area<br><u>Office Premises</u> - 1 space / 50m <sup>2</sup> of gross leasable area<br><u>Business Premises</u> – 1 space / 35m <sup>2</sup> of gross leasable area<br><u>Industries</u> – 1 space / 2 staff employed or 1 space / 100m <sup>2</sup> of gross leasable area                                                                                                                                                                                                                                                 | <p>The DCP would require</p> <p>1 space for every 2 staff. 6 FTE and 3 part time staff present (obligation only 4.5 spaces) yet with capacity to double staffing, 10 spaces considered imminently reasonable.</p> <p>Parking is provided in line with (and indeed in excess of) the development's needs, on the site plan.</p> |
|                                                                                                                      | <ul style="list-style-type: none"> <li>Car parking to be provided on the site of the development;</li> <li>Vehicles enter and leave the site in a forward direction;</li> <li>All parking spaces to be marked by lines or spaces;</li> </ul>                                                                                                                                                                                                                                                                                                                                                                      | See carparking plan incorporating the above details plus as detailed per this section and comments previously in this SEE.                                                                                                                                                                                                     |



| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| Clause                                                                                                                                     | Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | If non-compliance state and address                                                                                                |
|                                                                                                                                            | <ul style="list-style-type: none"> <li>The layout and dimensions of car parking areas are in accordance with <u>Figures 4.1 and 4.2</u> of this DCP;</li> <li>All car parking and internal road areas to be paved in bitumen seal coat, asphaltic or bituminous concrete, cement concrete, concrete paving blocks, or brick paving blocks;</li> <li>Free and uninterrupted access to car parking areas is maintained at all times.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Parking will be on a concrete pavement. The accessible space/s will have pavement markings in concrete displaying it specifically. |
| <b>General Provisions for Car Parking Areas</b> – these controls apply to industrial premises required to provide a car parking area.      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                    |
|                                                                                                                                            | <ul style="list-style-type: none"> <li>Car parking areas to comply with Australian Standard AS2890;</li> <li>Pedestrian access to within the car parking area to be separated from vehicular traffic;</li> <li>Any blind aisles to be: less than 15m in length; a minimum of 6.5 metres wide; clear of all obstructions; and provided with a manoeuvring area at the blind end of the aisle.</li> <li>Separation of entry and exits points;</li> <li>Entry to and exit from the site to be in a forward direction;</li> <li>Holding areas have a maximum grade of 5% for a minimum distance of 6 metres behind the road boundary;</li> <li>All car parking areas to be sealed, graded and drained;</li> <li>The maximum acceptable grade for sloping parking (including access aisles) is 10%.</li> <li>The minimum clear head room for undercover parking is 2.3 metre for passenger vehicles or 4.6 metres where other vehicles will access the parking area;</li> <li>For required turning circle dimensions refer to <u>Appendix F of the YDCP</u>;</li> <li>Where 15 or more spaces provided at least 30% of spaces to be shaded;</li> <li>For driveway types and the design of access points refer to <u>Tables 4.2, 4.3 and 4.4</u> in the YDCP.</li> </ul> | Noted – see carparking layout and traffic plan, specifications plan in appendices.                                                 |
| <b>Development Requiring Tree Removal or Lopping</b> - These controls apply to commercial development in all zones other than RU1 and RU3. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                    |

| Compliance Table for YDCP 2011 – COMMERCIAL & INDUSTRIAL DEVELOPMENT |                                                                                                                                                                                                                                                                                                     |                                                                                 |
|----------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| Clause                                                               | Control                                                                                                                                                                                                                                                                                             | If non-compliance state and address                                             |
|                                                                      | Designated trees should be protected and retained where possible.<br>Designated trees are defined within Section 4.3.1 of the YDCP                                                                                                                                                                  | No tree removal proposed – development area of site is presently without trees. |
|                                                                      | <ul style="list-style-type: none"> <li>Where a designated tree is removed it should be replaced by at least 2 trees local to the area of a similar size at maturity;</li> <li>Work should not occur within the drip line of a retained tree unless an arborist report has been prepared.</li> </ul> | Not applicable – see above.                                                     |

## Section 2.5 Commercial, Business and Retail Development

Commercial and retail development is carried out in such a way as to:

- protect and enhance the economic function of Hilltops Local Government Area.
- protect and enhance the character of Hilltops Local Government Area.
- Protect and respond to the environment.

| Performance Criteria                                                                                                                                                                                                       | Acceptable Solution                                                                                                                                                                                                                                    | Comment this Application                                                                 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| <b>PC1</b> To ensure that development is consistent with existing or future character and building heights are consistent with the prevailing heights for commercial and retail development within the immediate vicinity. | <b>AC1.1</b> Shop fronts are true to the style of the existing building and the top and bottom floors of existing buildings are consistent in style and colour scheme.                                                                                 | No shop front                                                                            |
|                                                                                                                                                                                                                            | <b>AC1.2</b> The character of heritage conservation areas is protected and new development is consistent with the bulk and scale of a rural town, containing historic buildings.                                                                       | n/a not heritage                                                                         |
|                                                                                                                                                                                                                            | <b>AC1.3</b> Appearance of development is appropriate to neighbouring buildings and the wider area.                                                                                                                                                    | consistent to development and nearby                                                     |
|                                                                                                                                                                                                                            | <b>AC1.4</b> No existing windows are painted over. Frosting or signage for part of the frontage is considered suitable.                                                                                                                                | new work                                                                                 |
|                                                                                                                                                                                                                            | <b>AC1.5</b> Development is to avoid fibrous cement, unless painted, and metal cladding of walls, unless as an architectural feature.                                                                                                                  | see comment above in DCP section on 50% relief in differing façade materials and signage |
|                                                                                                                                                                                                                            | <b>AC1.6</b> Building front setbacks are consistent with adjoining buildings, or if adjoining buildings have different setbacks, with the average of those setbacks.                                                                                   | consistent with nearby                                                                   |
| <b>PC2</b> To ensure that safe and efficient passage is available between street frontages and car parking areas.                                                                                                          | <b>AC2.1</b> Pedestrian linkages between shop fronts and public parking areas are retained or provided in convenient locations where possible. These are well lit at all times, and contain no dead ends or other places possible to conceal a person. | front carpark to development, footpath linkages across street                            |
|                                                                                                                                                                                                                            | <b>AC2.2</b> Primary access to a development is available from a street, not a rear lane.                                                                                                                                                              | From street                                                                              |
|                                                                                                                                                                                                                            | <b>AC2.1.2</b> All frontages of the site are to be provided with kerb and gutter.                                                                                                                                                                      | Exists                                                                                   |



|                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                               |                                                                                        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <p><b>PC3</b> To ensure that parking is of sufficient quantity, and provided in safe and efficient manner.</p>                                                   | <p><b>AC3.1</b> Parking complies with the provisions of Sections 4.1 and 4.2 of this DCP.</p>                                                                                                                                                                                                                                                 | <p>See commentary above</p>                                                            |
|                                                                                                                                                                  | <p><b>AC3.2</b> The re-development of parking areas should not detract from the character of the surrounding area.</p>                                                                                                                                                                                                                        | <p>Parking to be provided to front of development - obvious and easy to determine.</p> |
|                                                                                                                                                                  | <p><b>AC3.2</b> Visitor parking is easily accessible and clearly designated by line-marking and signage.</p>                                                                                                                                                                                                                                  | <p>Complies</p>                                                                        |
|                                                                                                                                                                  | <p><b>AC3.3</b> All parking areas and trafficable areas on-site is to be sealed with bitumen, coloured or textured concrete or pavers, to Council specifications.</p>                                                                                                                                                                         | <p>concrete - greyed texture</p>                                                       |
|                                                                                                                                                                  | <p><b>AC3.4</b> Vehicles accessing service areas or onsite parking areas must be able to enter and leave the development in the forward direction. The 85th percentile vehicle must be able to turn on-site in no more than a two-point turn. Templates can be found within Council's Engineering Guidelines, found on Council's website.</p> | <p>Complies</p>                                                                        |
| <p>PC4 To provide shop top housing or commercial development in the upper stories of multi-storey development.</p>                                               | <p><b>AC4.1</b> No part of the building is to exceed 9 m when measured vertically from the natural ground level immediately below that part. This excludes any architectural or service features such as parapets or antennae.</p>                                                                                                            | <p>Complies -8.645m</p>                                                                |
| <p>PC5 To ensure zone E3 Zone has a well landscaped presentation with simple centralized entrance signage.</p>                                                   | <p><b>AC5.1</b> Signage is appropriate to the building and to the surrounding area.</p>                                                                                                                                                                                                                                                       | <p>Consistent</p>                                                                      |
| <p>PC6 To ensure that new development is provided with appropriate services.</p>                                                                                 | <p><b>AC6.1</b> Developments are provided with water, sewer, power, telecommunications, and gas in accordance with the relevant authorities requirements.</p>                                                                                                                                                                                 | <p>Compliant</p>                                                                       |
|                                                                                                                                                                  | <p><b>AC6.2</b> Developments dispose of waste through a trade waste agreement if necessary.</p>                                                                                                                                                                                                                                               | <p>Compliant - skip space available</p>                                                |
| <p>PC7 The development is to be connected to Council's reticulated water and sewer systems where available or obligated to be connected under relevant acts.</p> | <p><b>AC7.1</b> Council's reticulated water service is to be connected separately to each dwelling.</p>                                                                                                                                                                                                                                       | <p>Complies</p>                                                                        |
|                                                                                                                                                                  | <p><b>AC7.2</b> Council's reticulated sewer service is to be connected separately to each of the dwellings.</p>                                                                                                                                                                                                                               | <p>Complies</p>                                                                        |

|                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                               |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                | <b>AC7.3</b> Payment of any head-works contributions for water and/or sewer. Refer to Council's Development Servicing Plans that may apply to the development.                                                                                                                                                                                                               | By condition where applicable                                                                                                                 |
|                                                                                                                                                                                                                                                                                                                                                | <b>AC7.4</b> Payment of any Section 7.11 or Section 7.12 development contributions applicable to the development.                                                                                                                                                                                                                                                            | Is any part of sec 7.11 plan still existing?                                                                                                  |
|                                                                                                                                                                                                                                                                                                                                                | <b>AC7.5</b> Developments comply with Council's liquid trade waste policy.                                                                                                                                                                                                                                                                                                   | No non-compliant discharge - toilet and staff facilities to sewer system. Grease and grit arrestor for prune steaming water before discharge. |
| PC8 The development is to have appropriate stormwater drainage connected, where possible, into Council's existing stormwater infrastructure.                                                                                                                                                                                                   | <b>AC8.1</b> All stormwater from the property shall be disposed of without causing nuisance. This may involve connection to Council's existing drainage system or other suitable arrangements such as easements or on site detention where no direct discharge to waters is available. Post development flow must not exceed pre-development flows.                          | To be designed and discharged to street system.                                                                                               |
|                                                                                                                                                                                                                                                                                                                                                | <b>AMD8.2</b> All roof and surface water drainage is to be designed to provide for conveyance of these flows per AS3500 per AS3500 and current Australian Rainfall and Runoff Guidelines, including factoring of Climate Change via the Climate Change Rainfall modifier, to the appropriate road, public stormwater drainage system or watercourse where approved to do so. | To be designed and discharged to street system.                                                                                               |
| <b>Design Suggestions and Variations</b>                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                              | Comments                                                                                                                                      |
| Council will consider the provision of concessions, possibly including car parking, for development fronting Boorowa Street in Young or Marsden St in Boorowa or Neill Street in Harden or Albury Street in Murrumburrah where developments provide pedestrian access to car parking areas via arcades or passageways having 3m minimum width. |                                                                                                                                                                                                                                                                                                                                                                              | Well designed parking at front of the development, manoeuvring areas on site meet largest vehicle specs                                       |

## **D. Assessment of Likely Impacts of Development**

---

### ***Construction Impacts***

During construction of the proposal there is expected to be minimal impacts on neighbouring premises. Care will be taken adjacent the rear common boundary with the redundant Rail Corridor yet no development is proposed within 20m+ of same.

As the heart of the site will be worked, graded, excavated and finished (not already established), sedimentation and erosion control measures (silt fence & hay bale to scour lines and drainage hold points) will be put in place as each area of the site is worked on. Care will be taken to ensure that no sediment leaves the site or makes its way into drainage lines. A broad scale sedimentation and erosion control plan will be prepared prior to Construction Certificate and conditioning of any determination in this regard, is anticipated.

Work will only occur during 7am to 7pm weekdays and 8am to 6pm on weekends during the construction phase, although it is an industrial area and more productive work may best occur with least impact on weekends. No work will occur on public holidays.

During the erection phase of the buildings & carparking, skip bins will be put in place to prevent construction litter, and these will be serviced by a commercial contractor.

### ***Privacy***

There is no anticipated loss of visual or acoustic privacy to any residential neighbouring land use during construction. The nearest residence is close to 147m away and others beyond this. Notwithstanding this the hours of construction, the very contemporary nature of construction (slab and bolt together steel frame, screw on cladding) will mean construction is quick and relatively quiet. The slab preparation and shed erection phase may involve more noise but this will most likely be for 1 – 2 weeks in duration at a time. Long term privacy is assured as this development will continue as it has with no complaint history and a compliant member of the Industrial area

### ***Overshadowing***

The proposal will not result in any overshadowing to any residential or neighbouring land use?

### ***Economic and Social Impacts***

There are expected to be social and economic impacts within the locality, and these are anticipated to be mostly positive. The development extends Young's Regional Centre appeal by attracting another specialty store to the region. It will enhance the regional centre appeal of Young and its CBD attracting more influx into the Hilltops GDP.

This can only have a positive economic and social impact which aids Council and the business community to grow the Town, Shire and Region.

### ***Environmental Issues***

- Water quality, drainage and water supply

The development has been designed specifically to address these issues. Water connections are available for fire fighting, processing and for offices and ablutions. Sewer connections will be required and will specifically allow for flexibility in layout and trade waste potential appliance installation. Stormwater from buildings and from hard stand will be collected and discharged at infrastructure points in Council's network.



- Erosion and sedimentation

As per the above statement, erosion and sediment control plans for implementation phase will be provided prior to any CC stage.

- No major impact is foreshadowed having regard to disturbance of amenity type issues, like noise, air quality, odour or visual impacts from the initial build and presentation of the land for continuing this occupation.
- No impacts on native vegetation, threatened species, populations, ecological communities and their habitats are anticipated as this land has been highly disturbed over a long period without any obvious sign of any flora or fauna being impacted.

### ***Access and Traffic***

The proposal has been designed to meet Council's Policy statements and DCP in order that there should be no result in any conflict between vehicles, heavy vehicles, pedestrians and cyclists.

## **E. Summary & Recommendation**

---

### ***Summary***

The development is commended to Council as it is expansion of an existing business, focusing its efforts at a greenfields site, displaying strength and support to Young's Industrial area, despite recent Strategic expansion plans in other parts of the Hilltops at Young's expense.

The site is "shovel ready" and merely needs approvals for the work to commence. Buildings, access, turning areas, parking areas and ready-to-occupy rural industry.

Council Policy has been reviewed and incorporated in the design. This DA is pivotal that it is providing expansion to the owners growing business. We trust this design and set of policy compliance statements meets Council's needs to adequately assess and determine this application in the affirmative.

The development is commended to Council for its assessment.

**APPENDIX 1**

**TITLE SEARCH &**

**DEPOSITED PLANS**

**88B Instrument**





FOLIO: AUTO CONSOL 12947-209

-----

| SEARCH DATE | TIME    | EDITION NO | DATE       |
|-------------|---------|------------|------------|
| -----       | ----    | -----      | ----       |
| 2/6/2025    | 2:21 PM | 2          | 29/10/2024 |

LAND

----

LAND DESCRIBED IN SCHEDULE OF PARCELS

AT YOUNG

LOCAL GOVERNMENT AREA HILLTOPS

PARISH OF YOUNG COUNTY OF MONTEAGLE

TITLE DIAGRAM SEE SCHEDULE OF PARCELS

FIRST SCHEDULE

-----

VERITY FRUITS PTY LTD

(T AU536703)

SECOND SCHEDULE (2 NOTIFICATIONS)

-----

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND  
CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 AU536704 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED

NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

SCHEDULE OF PARCELS

-----

LOT 2235 IN DP754611  
LOT 2302 IN DP754611

TITLE DIAGRAM

-----

CROWN PLAN 6280.1780  
CROWN PLAN 6421.1780.

\*\*\* END OF SEARCH \*\*\*

VERITY...

PRINTED ON 2/6/2025

29<sup>th</sup> November 1921



BURRANGONG SHIRE



LB25-2626

# PLAN OF PORTION 2302

County of Monteagle Parish of Young

Land District Young

Land Board District Wagga Wagga

Eastern Division

RESUMED AREA N<sup>o</sup>

PASTORAL HOLDING

Applied for under the 164<sup>th</sup> Section of the Crown Lands Act. of 1913 by Martin Rowan Addn to Spl. 19.17, <sup>Considn</sup> <sup>Added</sup>  
Approved 14<sup>th</sup> May 1925 Sales 25.8529, for grazing Term fr. 1.1.26, to 31.12.32. Granted, Gaz. 24.12.26. <sup>Gaz. 17.11.26</sup>

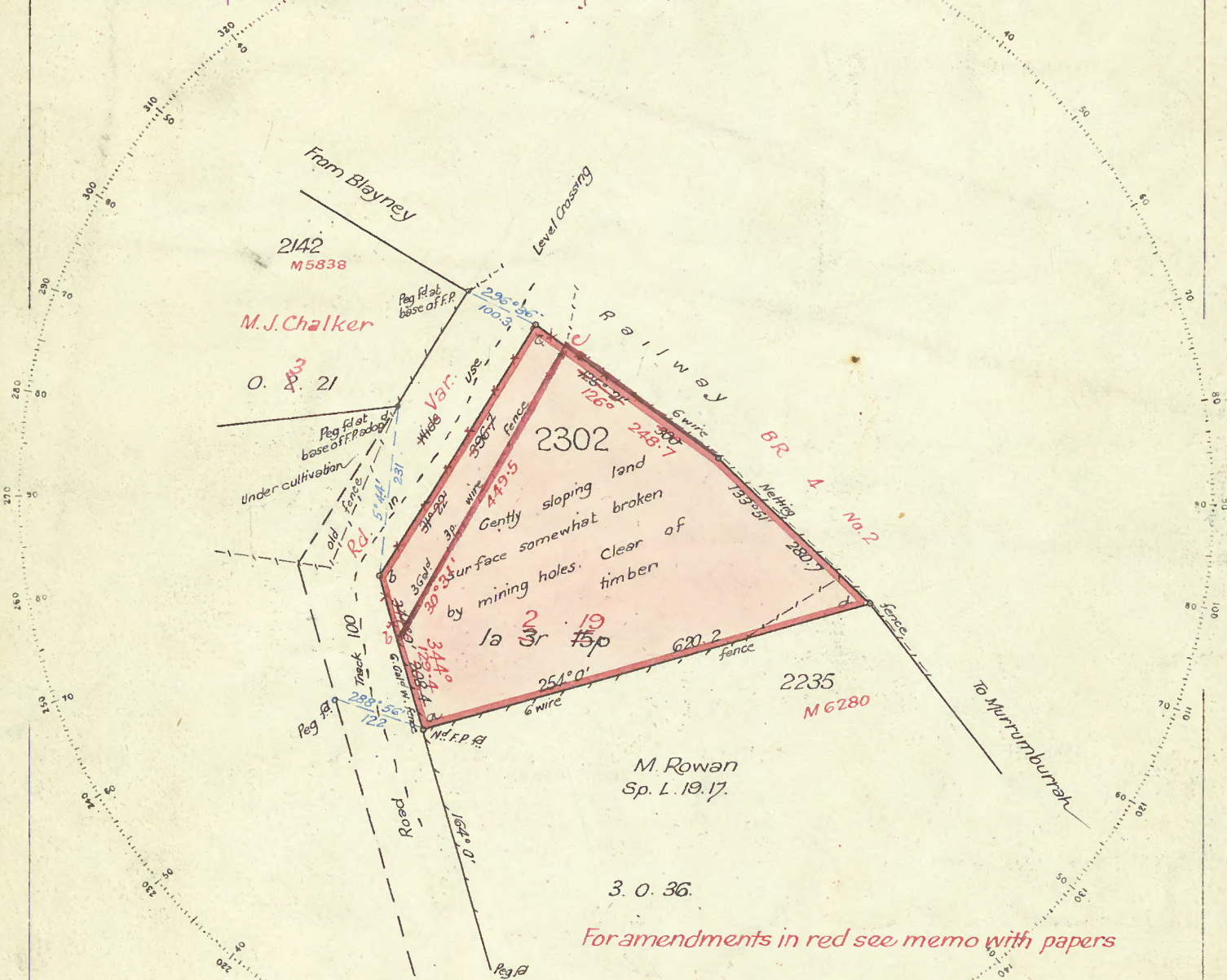
Within Burrangong Gold Field Procl. 31<sup>st</sup> Aug 1865

Within Young Population Area Procl. 14<sup>th</sup> July 1885 Revoked 15.1.32

Pt Sp. L. 49/1, Alexander Wilfred Anthony Rowan Appd. Gaz. 4.5.51.

Now Pt. C.P. 54.5 June 11<sup>th</sup> Alexander Wilfred Anthony Rowan Withdrawn

Now Pt. C.P. 56.1 April 19<sup>th</sup> Alexander Wilfred Anthony Rowan.



Azimuth taken from for 2235  
Field Book Vol. 1926 Folios 1-4

## Reference to Corners

| Corner | Bearing             | From | Links          | N <sup>o</sup> on Plan |
|--------|---------------------|------|----------------|------------------------|
| a      | Fence Post numbered |      | { 2235<br>2302 |                        |
| b      | Reg numbered        |      | 2302           |                        |
| c      | Reg numbered        |      | 2302           |                        |
| d      | Reg numbered        |      | { 2235<br>2302 |                        |

## Reference to Traverse

| Line | Bearing | Distance |
|------|---------|----------|
|      |         |          |
|      |         |          |
|      |         |          |
|      |         |          |

I hereby certify that I in person made and completed the survey represented on this plan on which are written the bearings and lengths of the lines measured by me and I declare that the survey has been executed in accordance with the regulations published for the guidance of Licensed Surveyors and the practice of the Department of Lands.

*C. C. Anderson*  
Licensed Surveyor

Transmitted to the District Surveyor with my letter of 21<sup>st</sup> Sept. 1926. N<sup>o</sup> 7.

Voucher N<sup>o</sup> 26/8 Passed 5.10.3 B.R. 26/10/26  
Calculation Book N<sup>o</sup> 132 Folio 35  
Checked and Certified by Rowley 18<sup>th</sup> Act. 1926.  
Examined by *Chenille*  
Plan approved 26<sup>th</sup> October 1926  
First Draftsman

Improvements

STANDARD TRACING  
PREPARED

Scale 2 Chains to an Inch.

Cat. N<sup>o</sup> M 6421-1780



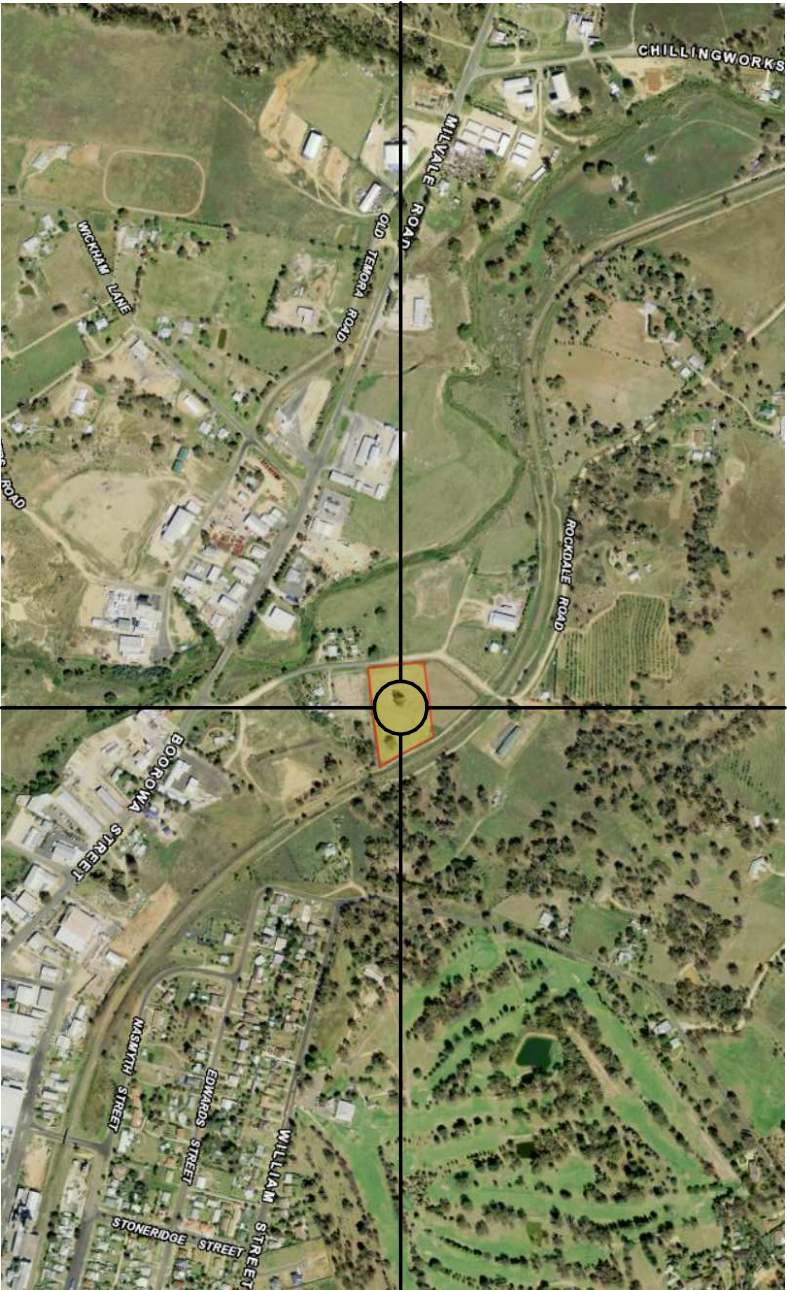
## **APPENDIX 2**

### **PLANS OF DEVELOPMENT**





google.com/maps



google.com/maps maps.six.nsw.gov.au

## SUBJECT SITE

### SCHEDULE OF DRAWINGS

| SHEET NAME                      | SHEET NUMBER | CURRENT REVISION |
|---------------------------------|--------------|------------------|
| SITE INFORMATION                | A00A         | 3                |
| GENERAL NOTES                   | A00B         | 3                |
| PERSPECTIVES                    | A00C         | 3                |
| SITE PLAN                       | A001         | 3                |
| ROOF PLAN                       | A002         | 3                |
| BUILDING A FLOOR PLAN           | A003         | 3                |
| BUILDING A MEZZANINE FLOOR PLAN | A004         | 3                |
| OFFICE FLOOR PLAN               | A005         | 3                |
| BUILDING B FLOOR PLAN           | A006         | 3                |
| BUILDING A ELEVATIONS           | A007         | 3                |
| BUILDING B ELEVATIONS           | A008         | 3                |
| BUILDING A SECTIONS             | A009         | 3                |
| BUILDING B SECTIONS             | A010         | 3                |
| HYDRANT PLAN                    | A011         | 3                |
| VEHICLE MOVEMENT PLAN           | A012         | 3                |
| VEHICLE MOVEMENT PLAN           | A013         | 3                |

### SITE DETAILS

|                        |                         |
|------------------------|-------------------------|
| SITE AREA:             | 1.309 ha APPROX.        |
| LEP-<br>ZONING:        | E4-GENERAL INDUSTRIAL   |
| LOCAL GOVERNMENT AREA: | HILLTOPS SHIRE COUNCIL  |
| DEVELOPMENT TYPE:      | PROPOSED SHED           |
| SOIL CLASSIFICATION:   | REFER TO ENG. DETAILS   |
| CLIMATE ZONE:          | 4 (WWW.ABCB.GOV.AU MAP) |



# WARRICK MORLEY DRAFTING SERVICES

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E | warrick@wmdrafting.com

## PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

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## DA SUBMISSION

|          |            |          |              |
|----------|------------|----------|--------------|
| SCALE    | 1 : 100    | REVISION | DESCRIPTION  |
| DATE     | 30/04/2025 | 3        | HYDRANT PLAN |
| DRAWN    | CM         |          |              |
| DESIGNED | WM         |          |              |

|      |            |
|------|------------|
| DATE | 30/04/2025 |
|------|------------|

|             |        |
|-------------|--------|
| PROJECT No. | W24035 |
| SHEET       | A000A  |



# GENERAL NOTES

## ABBREVIATION

|      |                                |
|------|--------------------------------|
| C    | STRUCTURAL COLUMN              |
| CONC | CONCRETE FLOOR FINISH          |
| DP   | DOWN PIPE                      |
| FW   | FLOOR WASTE                    |
| GAS  | GAS BOTTLE                     |
| HR   | SELECTED HANDRAIL              |
| HWS  | HOTWATER SYSTEM                |
| H+B  | SELECTED HANDRAIL + BALUSTRADE |
| MSB  | MAIN SWITCH BOARD              |
| MV   | MECHANICAL VENTILATION         |
| SH   | SHOWER                         |
| TL   | SELECTED TILE                  |
| TM   | SELECTED TIMBER FLOOR          |
| TP   | STANDPIPE + HOSE TAP           |
| V    | SELECTED WALL MOUNTED VANITY   |
| WC   | SELECTED WATER CLOSET          |

### GENERAL SAFETY NOTE:

- ALL PATHS OF TRAVEL BOTH DURING & AFTER CONSTRUCTION ARE TO REMAIN FREE OF OBSTRUCTIONS.
- ALL ACCESS TO THE SITE DURING CONSTRUCTION IS TO REMAIN LIMITED TO AUTHORISED PERSONNEL WHO ARE TO BE MADE AWARE OF THIS REPORT.
- FUTURE DEMOLISHED TO ADHERE TO THE CODE OF PRACTICE FOR DEMOLITION WORK.
- ADEQUATE VENTILATION IS TO BE ALLOWED FOR BOTH DURING & AFTER CONSTRUCTION TO PREVENT INJURY DUE TO HEAT AND/OR AIR BORN CONTAMINANTS.
- ALL COMPONENTS OF THE CONSTRUCTION ARE COMPLY WITH NCC & ALL RELEVANT AUSTRALIAN STANDARDS & ANY ADDITIONAL FUTURE WORK IS TO BE DESIGNED & CARRIED OUT WITH REFERENCE TO THESE.
- POSITIONING OF NOISY PLANT EQUIPMENT BOTH DURING AND AFTER CONSTRUCTION MUST BE CARRIED OUT TO PREVENT NUISANCE AND/OR INJURY TO NEIGHBORING PROPERTIES.
- THE PROJECT MANAGER, CONSTRUCTION MANAGER, BUILDER & ANYONE IN CHARGE OF THE SITE/BUILDING BOTH DURING & AFTER CONSTRUCTION MUST IMPLEMENT ALL SAFETY REQUIREMENTS IN ACCORDANCE WITH THE NCC & ALL RELEVANT STANDARDS. ANY ACTIONS NOT IN COMPLIANCE BECOME THE RESPONSIBILITY OF THE PERSON/PERSONS WHO CARRIED THEM OUT.
- ALL PRODUCTS SELECTED BY THE OWNER & NOT APPROVED BY THE DESIGNER ARE THE RESPONSIBILITY OF THE OWNER.

## A001 SITE PLAN

- A. ALL SURFACE WATER TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS IN ACCORDANCE WITH REQUIREMENTS OF AS2870
- B. DOWNPIPES TO BE CONNECTED INTO STORMWATER AS SOON AS THE ROOF IS INSTALLED.
- C. DOWNPIPES SHOULD BE AT A MAXIMUM OF 12 METER CENTRES AND AS CLOSE TO VALES/VALLEYS AS POSSIBLE AND IN ACCORDANCE WITH NCC 3.5.3.5
- D. EXCAVATED MATERIAL STORED ON SITE SHALL BE PLACED UP-SLOPE OF SEDIMENT FENCE. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.
- E. CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET, TO PREVENT TRANSFERRING DEBRIS ONTO STREET. UNLESS ALTERNATIVE SEDIMENT TRANSFER REDUCTION METHODS ARE IN PLACE
- F. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

## A003 GROUND FLOOR PLAN

- A. ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. NO DETAIL SURVEY WAS UNDERTAKEN FOR THE PREPARATION OF THIS PLAN. CHECK DIMENSIONS AND LEVELS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- B. ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC), COUNCIL BYLAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.
- C. DAMP-PROOFING MEMBRANE UNDER SLAB-ON-GRADE IN ACCORDANCE TO ABC8 4.2.8.
- D. TERMITE MANAGEMENT SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NCC VOL. 1, B1D4 AND MUST COMPLY WITH AS 3660.1
- E. ALL HANDRAILS SHALL COMPLY WITH REQUIREMENTS OF NCC VOL.1, PART 12D4, D3D17 TO D3D22 & AS 1428.2
- F. ALL STAIR TREADS MUST HAVE A SLIP RESISTANCE COMPLYING WITH REQUIREMENTS OF NCC 12D7 AND TEST CERTIFICATE COMPLY WITH AS 1428.1
- G. STAIRS GOING AND RISERS SHALL COMPLY WITH NCC PART D3D14.
- H. DOORS TO SWING TOWARDS DIRECTION OF EGRESS PER NCC VOL.1, PART D3D25. DOOR LATCHES MUST BE OPERATED SINGLE-HANDEDLY IN A DOWNWARD MOTION LOCATED BETWEEN 900mm TO 1100mm IN ACCORDANCE TO NCC VOL. 1, PART D3D26.
- I. DOORS THAT EGRESS DIRECTLY OUTSIDE SHALL HAVE SIGNAGE TO INDICATE THAT PATH SHALL BE UNOBSTRUCTED AS STATED IN NCC VOL. 1 PART D3D28
- J. SARKING TO COMPLY WITH AS4200.1 AND WILL HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5
- K. PLUABLE BUILDING MEMBRANE INSTALLED IN AN EXTERNAL WALL MUST COMPLY WITH AS/NZS 4200.1 + BE INSTALLED IN ACCORDANCE WITH AS 4200.2. THE MEMBRANE TO BE POSITIONED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER THAT FORMS THE EXTERNAL ENVELOPE OF A BUILDING. EXCEPT FOR SINGLE SKIN MASONRY OR CONCRETE WHERE THE PLUABLE BUILDING MEMBRANE IS NOT INSTALLED IN EXTERNAL WALL THEN THE PRIMARY WATER CONTROL LAYER MUST BE SEPARATED FROM WATER SENSITIVE MATERIALS BY A DRAINED CAVITY.
- L. SARKING TO COMPLY WITH AS4200.1 AND WILL HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5
- M. ASBESTOS MAY BE PRESENT. ANY DEMOLITION OF ASBESTOS TO BE UNDERTAKEN BY LICENSED DEMOLITION AUTHORITY AND DISPOSED OF IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- N. WET AREAS CONSTRUCTION AND WATERPROOFING IN ACCORDANCE WITH NCC VOL. 1 SPECIFICATION 26 & AS 3740 2021
- O. MECHANICAL VENTILATION, PER NCC VOL. 1, PART NSW FB6D, AND AS 1688.2.
- P. OFFICE AREA AND CREW ROOM SHALL BE REVERSE CYCLE AIRCONDITION ON EACH AREA.
- Q. FORKLIFT OPERATION SAFETY REQUIREMENTS PER AUSTRALIAN SAFEWORK GUIDELINES.

## A003 GROUND FLOOR PLAN

- WALLS:**
    - 1. 90mm TIMBER WALL FRAMES TO MANUFACTURES DETAILS IN COMPLIANCE WITH AS1170 & AS1720
    - 2. 90mm STEEL WALL FRAMES WITH STEEL FRAMED ROOF TRUSSES TO MANUFACTURES DETAILS IN COMPLIANCE WITH AS1170 + AS3623 + PART B NCC
  - FLOORS:**
    - 1. VAPOUR PERMEABLE SARKING TO ROOF & EXTERNAL WALLS
    - 2. REINFORCED CONCRETE RAFT SLAB ON GROUND FLOOR REFER TO ENG. DETAILS
    - 3. SUSPENDED STEEL FRAMED FLOOR TO 1ST FLOOR TO ENG. DETAILS FIRE RATE U/S OF FLOOR WITH 13mm FRCHEK PLASTERBOARD MIN FRL 30/30/30
    - 4. SELECTED TILE FLOOR FINISH
    - 5. SELECTED TILE FINISH TO ALL BATHROOMS
    - 6. SET DOWN IN SLAB TO WET AREAS WITH TILED FINISH
  - GENERAL:**
    - 1. SELECTED CORNICE THROUGH OUT
    - 2. WALL MOUNTED VANITIES TO TOILET
    - 3. SELECTED ALUMINIUM FRAMED DOOR
    - 4. 1000mm HIGH HANDRAILS TO MEZZANINE SHALL COMPLY WITH NCC PART D3D17 TO D3D22.
    - 5. DOOR ASSEMBLIES TO HAVE LUMINANCE CONTRAST OF 30% IN ACCORDANCE WITH NCC PART 13.1
    - 6. EMERGENCY LIGHTING ALONG PATH OF TRAVEL GOING TO AN EXIT IN ACCORDANCE TO E4D2
    - 7. EXIT SIGNS MUST BE CLEARLY VISIBLE TO PERSONS APPROACHING EXIT AND MUST BE INSTALLED ON, ABOVE OR ADJACENT TO DOOR PROVIDING EGRESS DIRECTLY OUTSIDE AND DOORS SERVING AS, OR FORMING PART OF, A REQUIRED EXIT PER NCC VOL 1 PART E4D5.
  - ROOFS:**
    - 1. SELECTED COLORBOND ROOF SHEETING
    - 2. COLORBOND GUTTER & FASCIA
    - 3. FC SHEET TO EAVES SOFFIT LINING
  - WINDOWS & DOORS:**
    - 1. ALUMINIUM FRAMED WINDOWS- DOUBLE HUNG
    - 2. ALUMINIUM FRAMED EXTERNAL SLIDING DOORS
    - 3. GAUZE SCREENS TO WINDOWS & SLIDING DOORS
    - 4. ALL PA DOORS TO BE 920 MM. CLEAR AND MUST HAVE SIGNAGE TO ALERT PERSONS TO NOT OBSTRUCT THE DOOR ACCORDING TO NCC PART D3D28
- FIRE PROTECTION POLICY**
- A. ALL FIRE HOSE REELS SUPPLIMENTED ARE TO BE IN ACCORDANCE WITH AS 2441 & NCC VOL 1 PART E1D3 & AS 2441.
  - B. ALL PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN AREAS WITH FIRE RISK AND ARE TO BE IN ACCORDANCE WITH AS 1841 & 2444, AND WITH NCC VOL. 1 PART E1D14.
  - C. ALL DOORS WITH DIRECT ACCESS TO THE EXTERIOR OF THE BUILDING SHALL HAVE EXIT SIGNS TO BE IN ACCORDANCE WITH NCC E4D5 AND AS 2293.
  - D. SMOKE ALARM AND DETECTION SYSTEM WHEN REQUIRED REFER TO NCC S20C4.

## DISABLED CARPARK NOTES:

| SPACE IDENTIFICATION                                                                                                                                                                                                                                                                                                                                                                                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800mm AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm, PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500mm AND 600mm FROM ITS ENTRY POINT AS ILLUSTRATED                                                                                                                 |
| SPACE DELINEATION                                                                                                                                                                                                                                                                                                                                                                                                                      |
| PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.                                                                                                                                                                                                                                              |
| PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>1. LINEMARKING</b>                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 1.1. DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.                                                                                                                                                                                                                                                                            |
| <b>2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:</b>                                                                                                                                                                                                                                                                                                                                                                                     |
| 2.1. WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.                                                                                                                                                                                                                                            |
| 2.2. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL. AND MARKED WITH DIAGONAL STRIPES 150 TO 200mm WIDE WITH SPACES 200 TO 300mm BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 ±10 DEGREES TO THE SIDE OF THE SPACE. |
| 2.3. NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.                                                                                                                                                                                                                                                                                                                                                                      |
| 2.4. ALL LINEMARKING MUST BE NON SLIP                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>3. BOLLARDS:</b>                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 3.1. MINIMUM HEIGHT 1300mm                                                                                                                                                                                                                                                                                                                                                                                                             |
| 3.2. RECOMMENDED COLOUR BLUE TO CONTRAST AGAINST YELLOW LINE MARKING                                                                                                                                                                                                                                                                                                                                                                   |
| 3.3. RECOMMEND FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE                                                                                                                                                                                                                                                                                                                                                                        |

## DISABILITY NOTES:

- EXTERNAL DOORWAY THRESHOLDS SHALL BE INSTALLED ALLOWING DISABLED ACCESS IN ACCORDANCE WITH NCC D2.15 VOL. 1 & AS 1428.1
- DISABLED TOILET TO BE BUILT IN ACCORDANCE WITH AS 1428.1
- ALL RAMPS TO BE MAXIMUM GRADE 1:14 & MAXIMUM 9.0m LONG UNLESS NOTED OTHER WISE
- ALL RAMP & STAIR WIDTHS TO BE MINIMUM 1.0M BETWEEN HANDRAILS
- ALL LANDINGS TO BE MINIMUM 1200mm LONG IN STRAIGHT RAMPS OR 1540mm 90-180 DEGREE CHANGES IN DIRECTION
- TACTILE GROUND SURFACE INDICATORS (TGS) SHALL COMPLY WITH AS1428.4.1
- TGS TO BE INSTALLED SO NO LIKELIHOOD OF EDGES LIFTING SHALL HAVE SLIP RESISTANT SURFACE
- TGS SHALL HAVE LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.4.1
- PROPRIETARY TGS SHALL BE INSTALLED TO MANUFACTURERS DETAIL S
- TACTILE GROUND SURFACES INDICATORS IN ACCORDANCE WITH THE NCC & AS1428.4 ARE REQUIRED AT THE TOP & BASE OF ALL RAMPS & STAIRS.



Unisex Toilet RH

DISABLED ACCESS & SIGNAGE TO BE PROVIDED IN ACCORDANCE WITH NCC D3 VOL. 1 & AS 1428.1.

APPROPRIATE EXTERNAL SIGNAGE SHALL BE PROVIDED TO LOCATE THE DISABLED AMENITY FACILITY IN THE BUILDING IN ACCORDANCE WITH NCC SPECIFICATION D3.6

## DA SUBMISSION

### SCALE

1 : 100

### REVISION

DESCRIPTION  
HYDRANT PLAN

DATE  
30/04/2025

PROJECT No.  
**W24035**

SHEET

**A00B**



## PERSPECTIVE



# WARRICK MORLEY DRAFTING SERVICES

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## PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

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PROJECT No.  
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SHEET

**A000C**

SCALE

REVISION

3

DESCRIPTION

HYDRANT PLAN

DATE

30/04/2025

DRAWN

CM

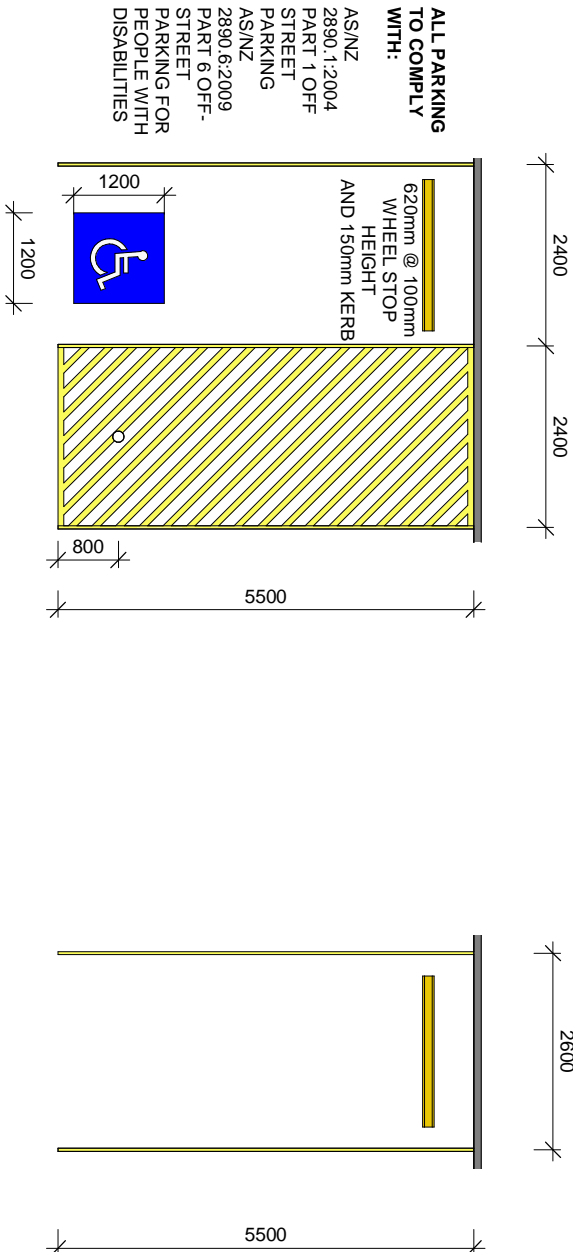
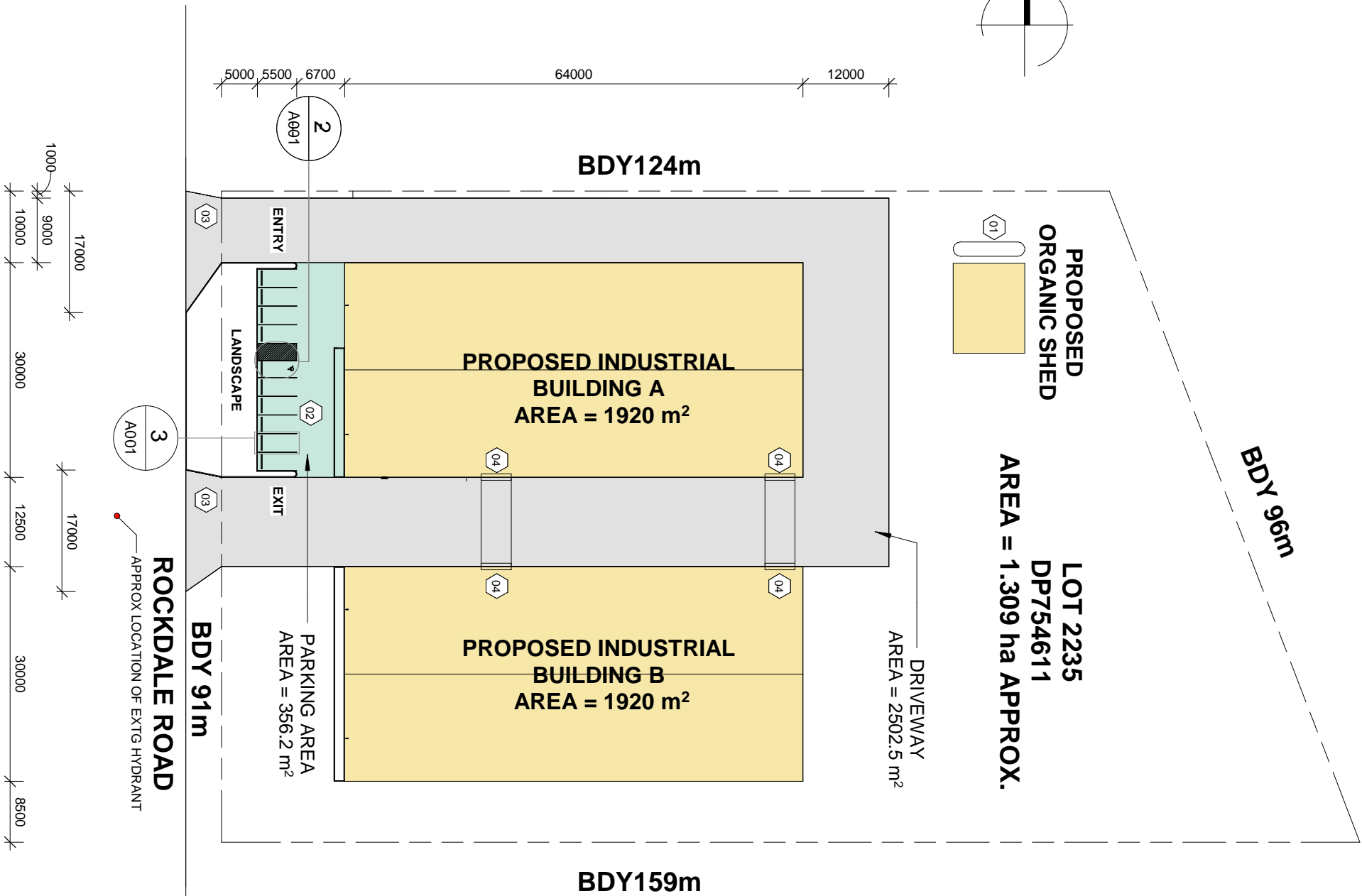
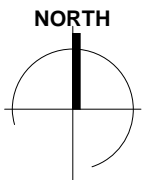
DESIGNED

WM



NOTES: (xx)

1. LPG GAS TANK. TBC.
2. PARKING AREA CALCULATED BASED ON MAXIMUM STAFF AND VISITORS.
3. DRIVEWAY SPLAY TO COUNCIL CROSSING REQUIREMENTS AND ENGINEER'S DESIGN.
4. ROLLER DOOR LOCATION.



DISABLED PARKING DETAIL

1 : 100

PARKING DETAIL

1 : 100

BOUNDARY DIMENSIONS SHOWN ARE APPROXIMATE ONLY. REFER TO SURVEY FOR EXACT BOUNDARY DETAILS.

SITE PLAN

1 : 750



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PROPOSED DEVELOPMENT  
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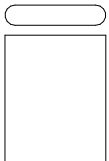
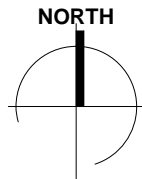
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SHEET  
A001



AREA SHOWN IS IN  
PLAN VIEW ONLY



BUILDING A ROOF AREA  
1950.34 m<sup>2</sup>

BUILDING B ROOF AREA  
1968.00 m<sup>2</sup>

## ROOF PLAN

1 : 750



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A002

SCALE

1 : 750

REVISION

DESCRIPTION  
HYDRANT PLAN

DATE

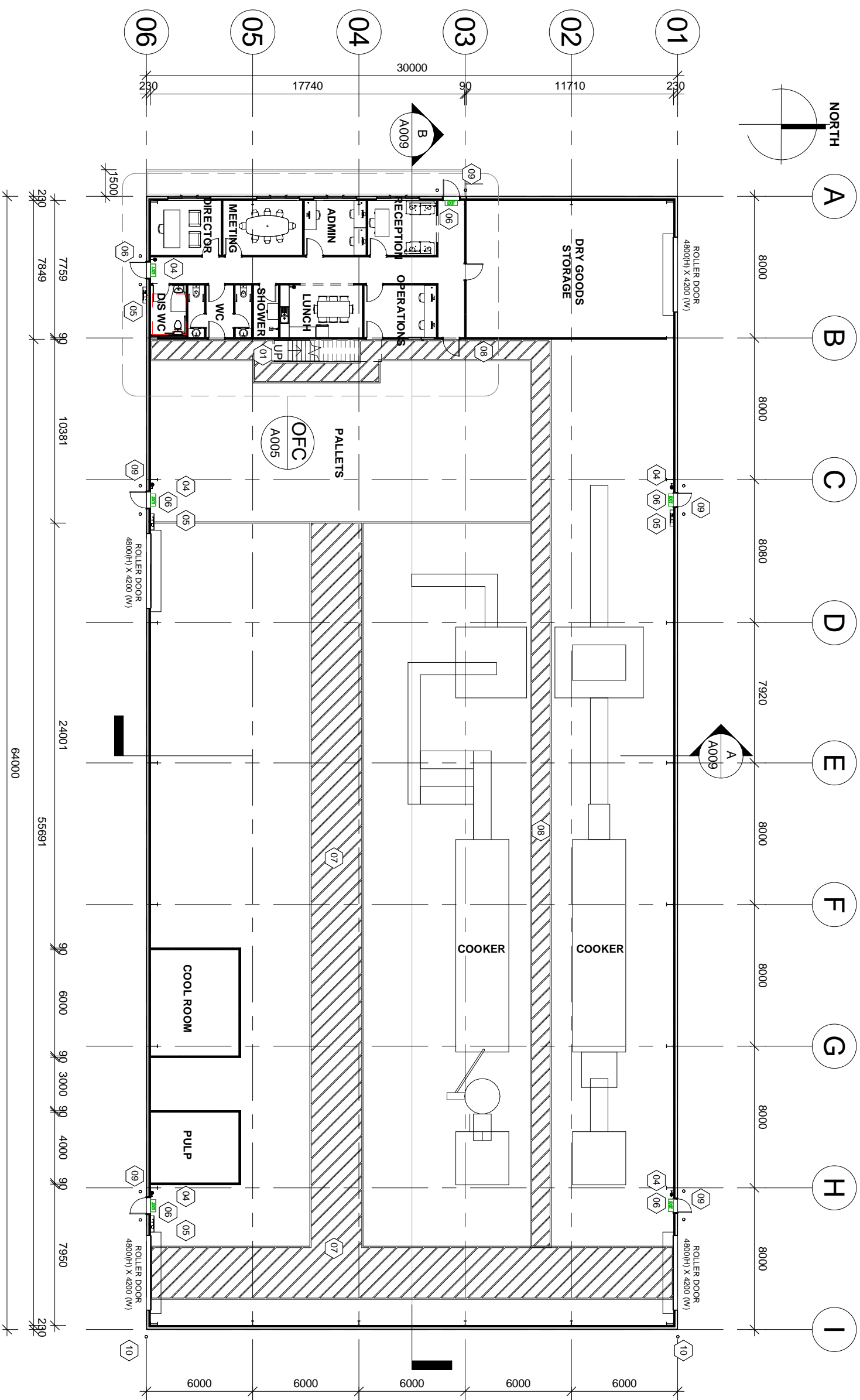
30/04/2025

DRAWN

CM

DESIGNED

WM



BUILDING A GROUND FLOOR PLAN

1 : 250

- NOTES:** (xx)
- STAIRS TO BE IN ACCORDANCE WITH NCC PART D3D14, HANDRAILS TO BE IN ACCORDANCE WITH NCC D3D17 D3D22 AND D3D23 TREADS IN ACCORDANCE WITH D3D15 SLIP RESISTANCE
  - PARTICLE BOARD FLOORING TO BE IN ACCORDANCE WITH AS1860.2
  - 1000mm HIGH HANDRAIL TO BE IN ACCORDANCE WITH NCC PART D3D21
  - PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH AS 1841, 2444 & NCC VOL. 1 PART E1D4
  - FIRE HOSE REELS IN ACCORDANCE WITH AS 2441. AND NCC VOL. 1 PART E1D3
  - EXIT SIGNS IN ACCORDANCE WITH AS 2293 AND NCC VOL. 1 PART E4D5.
  - LANE MARKINGS FOR FORKLIFT PATH IN COMPLIANCE WITH AUSTRALIAN SAFEWORK GUIDELINES.
  - LANE MARKINGS FOR PEDESTRIAN USE IN COMPLIANCE WITH AUSTRALIAN SAFEWORK GUIDELINES.
  - BOLLARDS TO PREVENT OBSTRUCTION OF EXITS.
  - BOLLARDS FOR VEHICULAR CLEARANCE.



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PROPOSED DEVELOPMENT

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SCALE 1 : 250

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| 3        | HYDRANT PLAN      |

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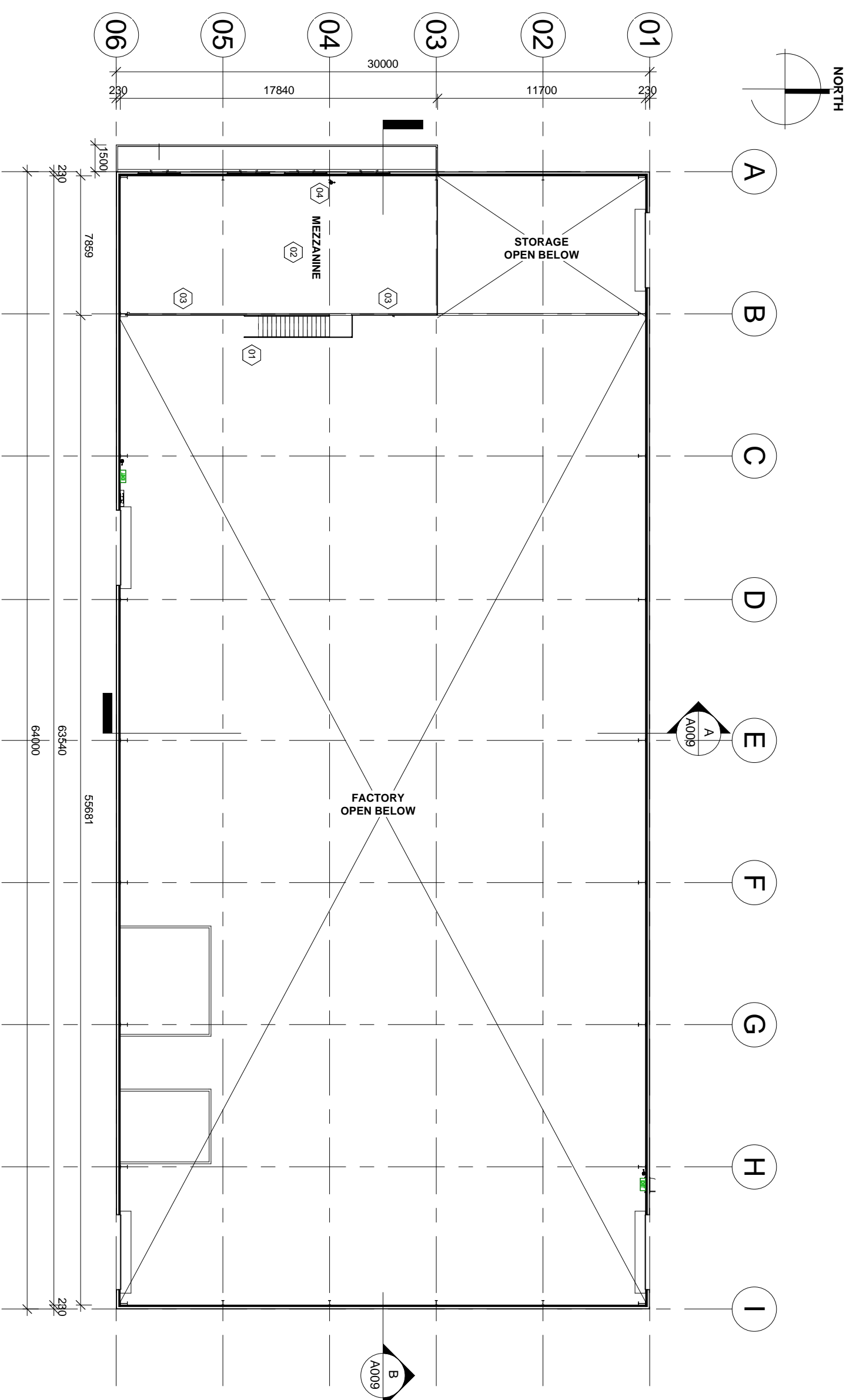
SHEET

A003

DA SUBMISSION

NOTES: (xx)

- STAIRS TO BE IN ACCORDANCE WITH NCC PART D3D14. HANDRAILS TO BE IN ACCORDANCE WITH NCC D3D17 D3D22 AND D3D23
- PARTICLE BOARD FLOORING TO BE IN ACCORDANCE WITH AS1860.2
- 1000mm HIGH HANDRAIL TO BE IN ACCORDANCE WITH NCC PART D3D21
- PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH AS 1841, 2444 & NCC VOL. 1 PART E1D4
- FIRE HOSE REELS IN ACCORDANCE WITH AS 2441. AND NCC VOL. 1 PART E1D3
- EXIT SIGNS IN ACCORDANCE WITH AS 2293 AND NCC VOL. 1 PART E4D5.
- LANE MARKINGS FOR FORKLIFT PATH IN COMPLIANCE WITH AUSTRALIAN SAFEWORK GUIDELINES.
- LANE MARKINGS FOR PEDESTRIAN USE IN COMPLIANCE WITH AUSTRALIAN SAFEWORK GUIDELINES.
- BOLLARDS TO PREVENT OBSTRUCTION OF EXITS.
- BOLLARDS FOR VEHICULAR CLEARANCE.



BUILDING A MEZZANINE FLOOR PLAN

1 : 250



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| 3        | HYDRANT PLAN      |

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PROJECT No.  
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A0004



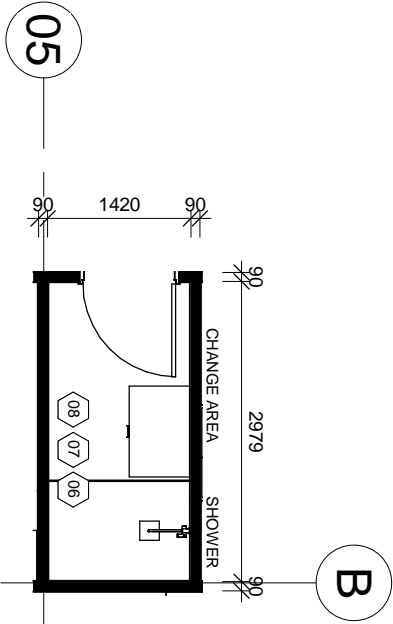
NOTES: (xx)

1. STAIRS TO BE IN ACCORDANCE WITH NCC PART D3D14.
2. HANDRAIL TO BE IN ACCORDANCE WITH NCC PART D3D21
3. PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH AS 1841, 2444 & NCC VOL. 1 PART E1D4
4. FIRE HOSE REELS IN ACCORDANCE WITH AS 2441, AND NCC VOL. 1 PART E1D3
5. EXIT SIGNS IN ACCORDANCE WITH AS 2293 AND NCC VOL. 1 PART E4D5.
6. TOILETS AND SHOWER TO BE MECHANICALLY VENTED DIRECTLY OUTSIDE.
7. FULL HEIGHT WALL TILE TO TOILETS AND SHOWER.
8. TOILET CLEARANCES TO BE IN ACCORDANCE WITH AS 1428.1 PART 15.
9. DISABLED TOILET FLOOR LEVEL TO MATCH HALLWAY FLOOR LEVEL.
10. AMBULANT GRABRAIL IN COMPLIANCE WITH AS 1428.1.



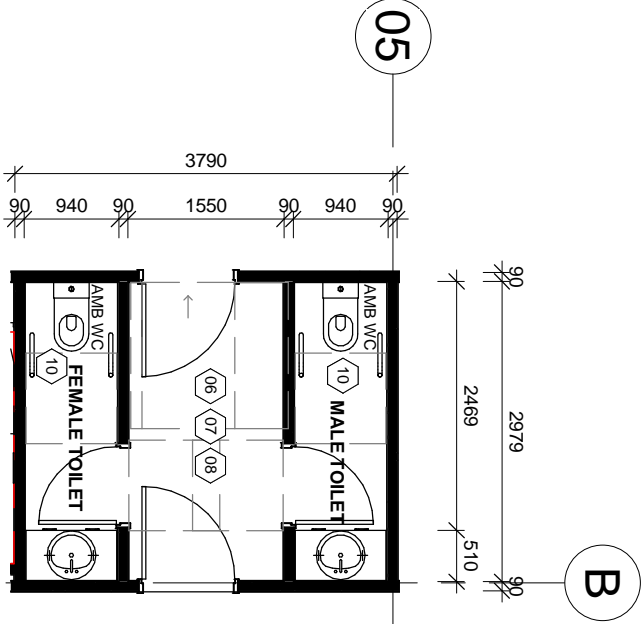
OFFICE FLOOR PLAN

1 : 125



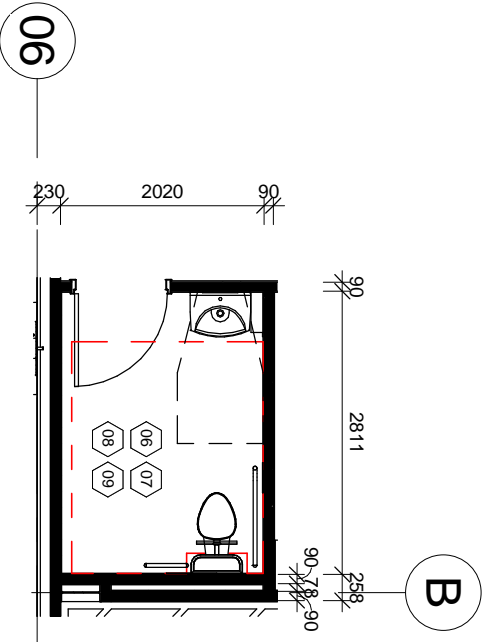
SHOWER PLAN

1 : 75



TOILET PLAN

1 : 75



DISABLED TOILET PLAN

1 : 75



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PROPOSED DEVELOPMENT

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3 HYDRANT PLAN

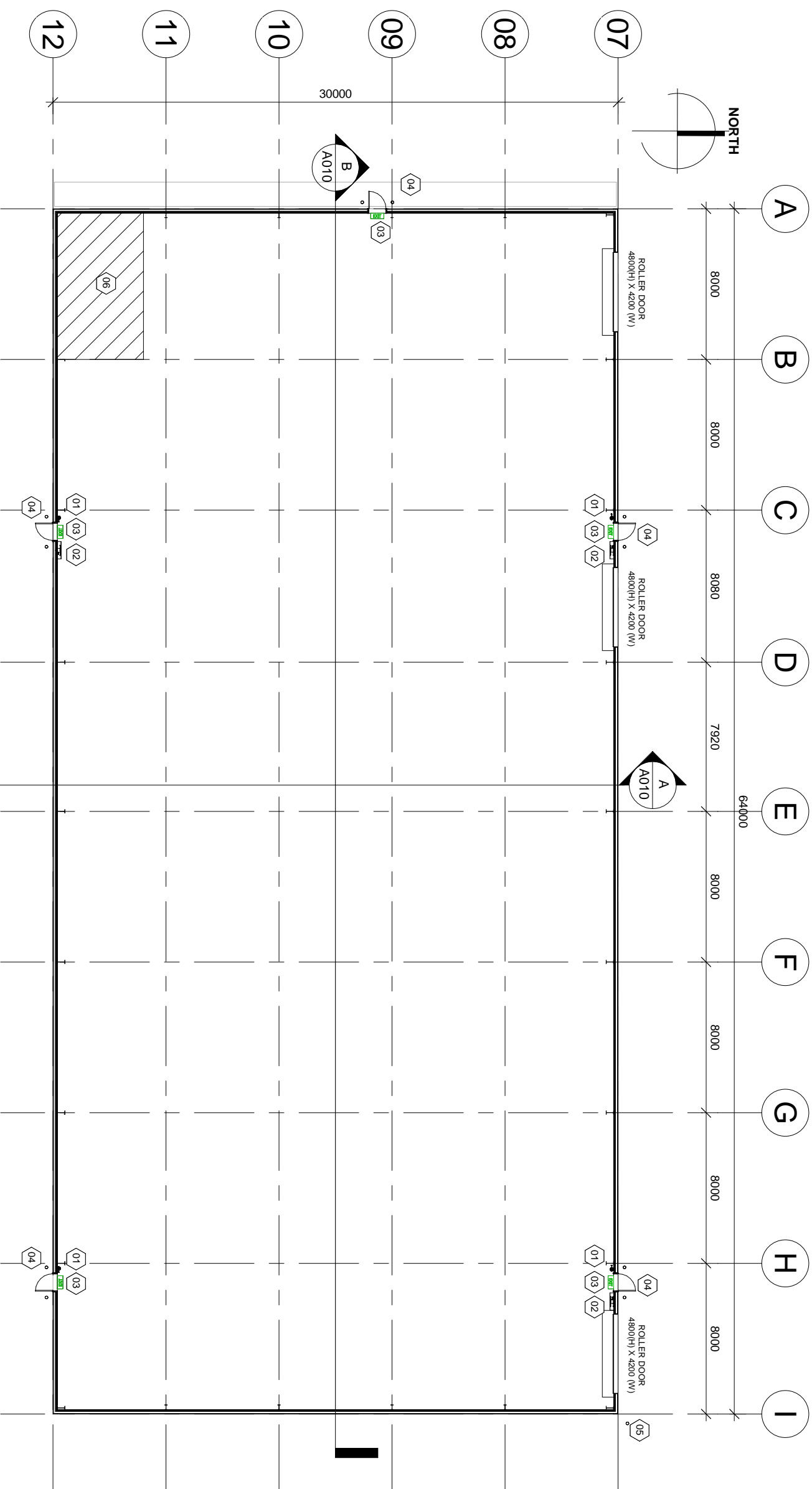
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PROJECT No. W24035  
SHEET

A0005

NOTES: (XX)

- PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH AS 1841, 2444 & NCC VOL. 1 PART E1D4
- FIRE HOSE REELS IN ACCORDANCE WITH AS 2441, AND NCC VOL. 1 PART E1D3
- EXIT SIGNS IN ACCORDANCE WITH AS 2293 AND NCC VOL. 1 PART E4D5.
- BOLLARDS TO PREVENT OBSTRUCTION OF EXITS.
- BOLLARDS FOR VEHICULAR CLEARANCE.
- PLUMBING PROVISION FOR FUTURE AMENITIES TBC.



BUILDING B GROUND FLOOR PLAN

1 : 250



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PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

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| 3        | HYDRANT PLAN      |

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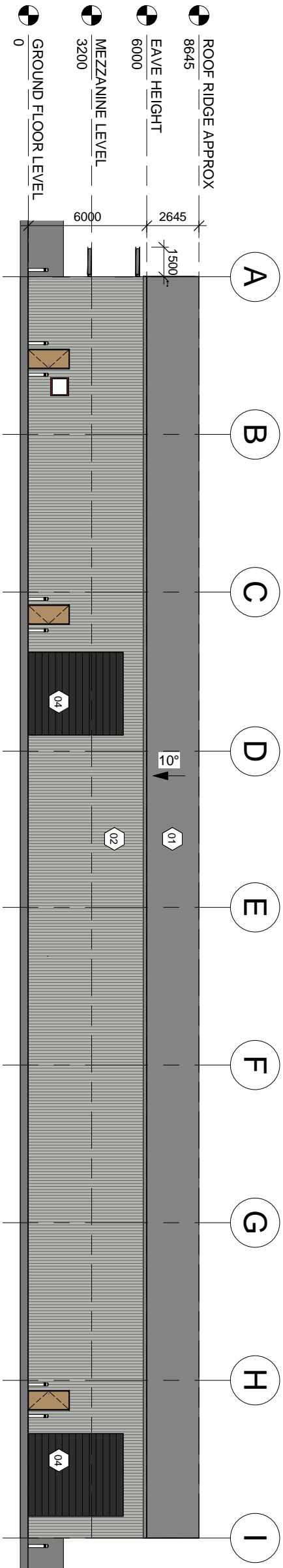
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SHEET

A006

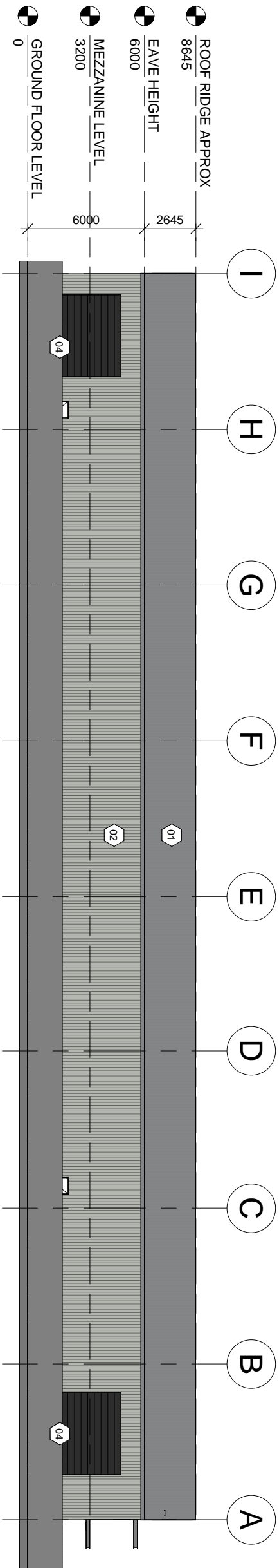


NOTES: (xx)

- "SELECTED" COLORBOND TRIMDEK ROOF SHEETING
- "SELECTED" COLORBOND TRIMDEK WALL SHEETING
- ALUMINUM FRAMED SLIDING WINDOW.
- ROLLER DOOR COLOR TO MATCH WALL.
- "SELECTED" WEATHERBOARD WALL SHEETING.
- AWNING TO ENGINEER'S DESIGN.
- PROPOSED NON-ILLUMINATED SIGNAGE APPROX. 2400(H) X 4200(W).

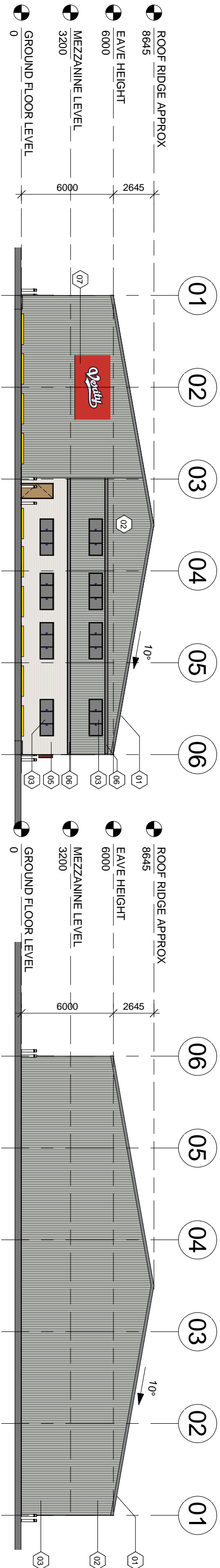
BUILDING A SOUTH ELEVATION

1 : 250



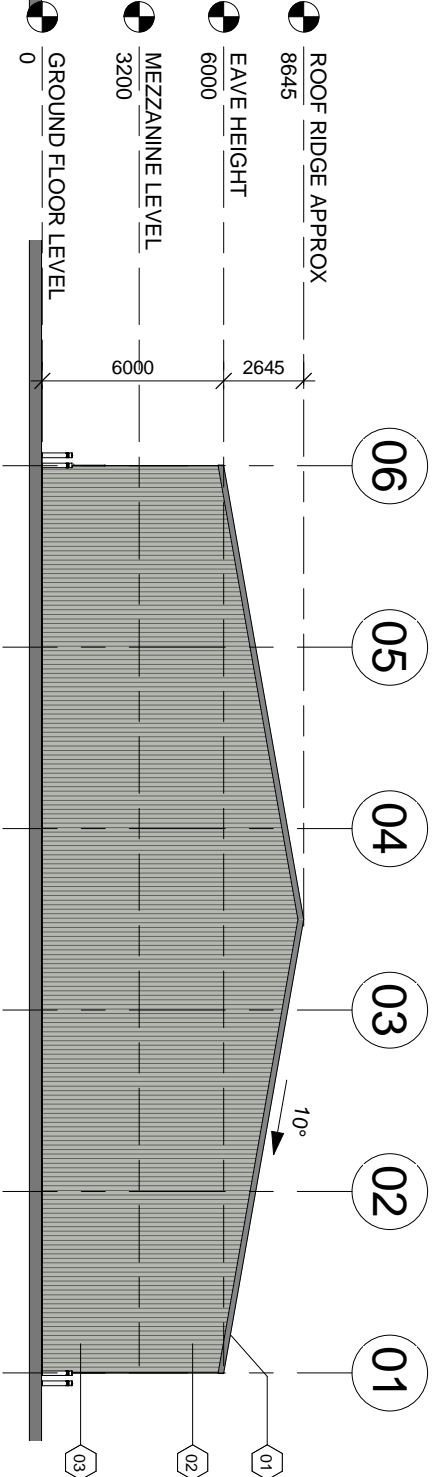
BUILDING A NORTH ELEVATION

1 : 250



BUILDING A WEST ELEVATION

1 : 250



BUILDING A EAST ELEVATION

1 : 250



WARRICK MORLEY  
DRAFTING SERVICES

A | Greenwood' Bimb NSW 2810

M | 0423 380 735

E | warrick@wmdrafting.com

PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

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DA SUBMISSION

SCALE 1 : 250

| REVISION | DESCRIPTION       |
|----------|-------------------|
| 1        | PRELIMINARY ISSUE |
| 2        | REVISED ELEVATION |
| 3        | HYDRANT PLAN      |

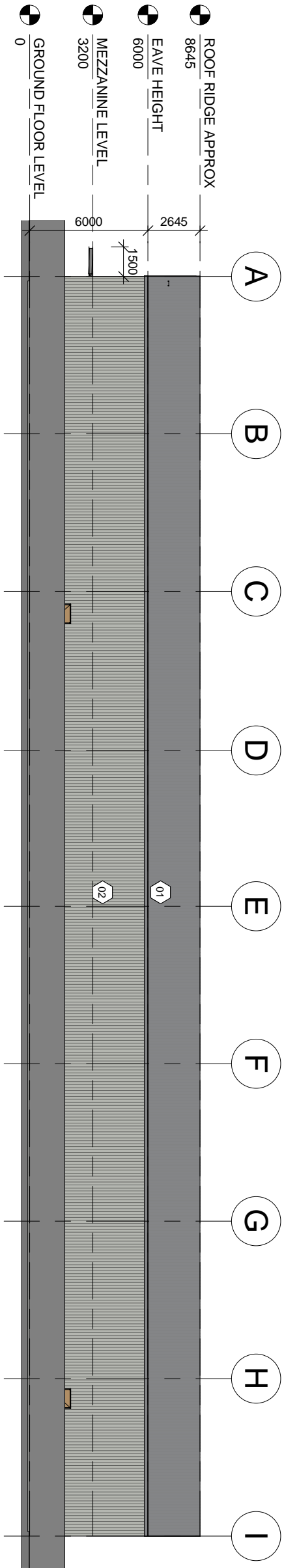
| DATE       | DATE       |
|------------|------------|
| 09/12/2024 | 09/12/2024 |
| 14/01/2025 | 14/01/2025 |
| 30/04/2025 | 30/04/2025 |

| DRAWN | DESIGNED |
|-------|----------|
| CM    | WM       |

PROJECT No.  
W24035

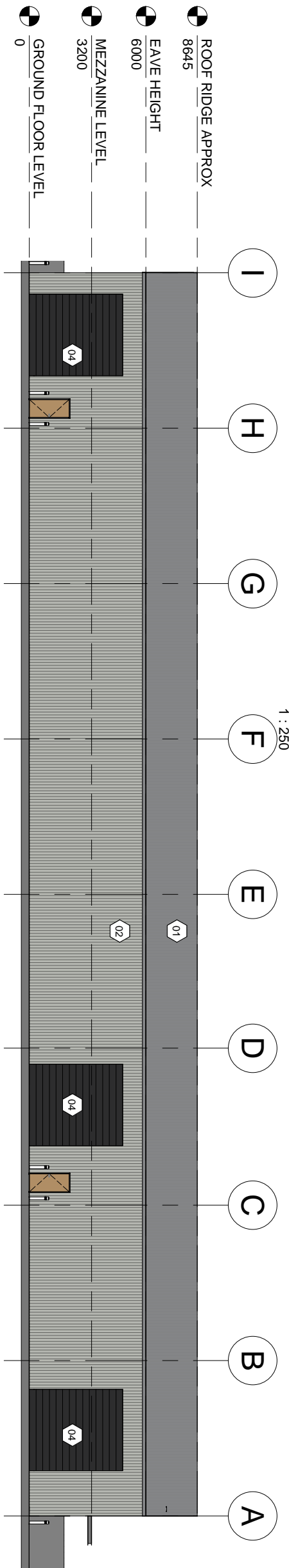
SHEET  
A007



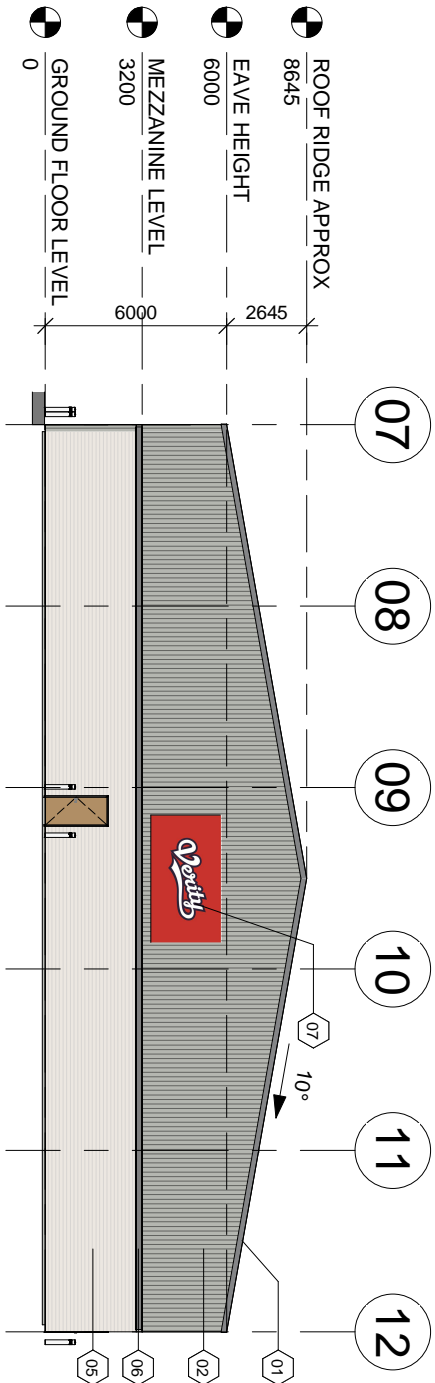


- NOTES:** (xx)
- "SELECTED" COLORBOND TRIMDEK ROOF SHEETING
  - "SELECTED" COLORBOND TRIMDEK WALL SHEETING
  - ALUMINUM FRAMED SLIDING WINDOW.
  - ROLLER DOOR COLOR TO MATCH WALL.
  - "SELECTED" WEATHERBOARD WALL SHEETING.
  - AWNING TO ENGINEER'S DESIGN.
  - PROPOSED NON-ILLUMINATED SIGNAGE APPROX. 2400(H) X 4200(W).

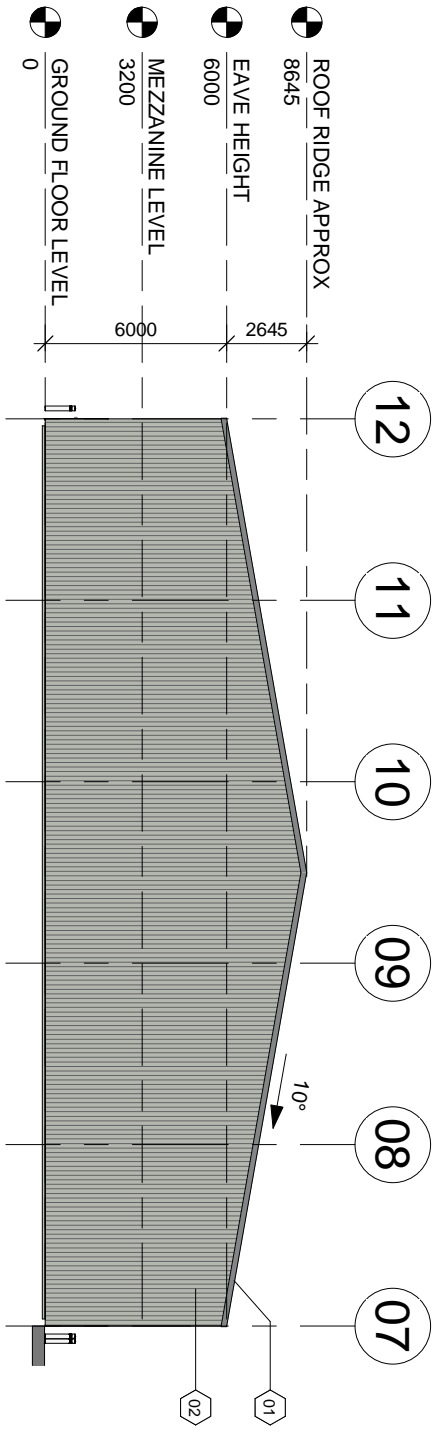
## BUILDING B SOUTH ELEVATION



## BUILDING B NORTH ELEVATION



## BUILDING B WEST ELEVATION



## BUILDING B EAST ELEVATION



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**DRAFTING SERVICES**

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E | warrick@wmdrafting.com

**PROPOSED DEVELOPMENT**  
**LOT 2235, ROCKDALE ROAD, YOUNG, NSW**  
**MR. L. BROOK-KELLY**

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**SCALE** 1 : 250  
**DATE** 30/04/2025  
**DRAWN** CM  
**DESIGNED** WM

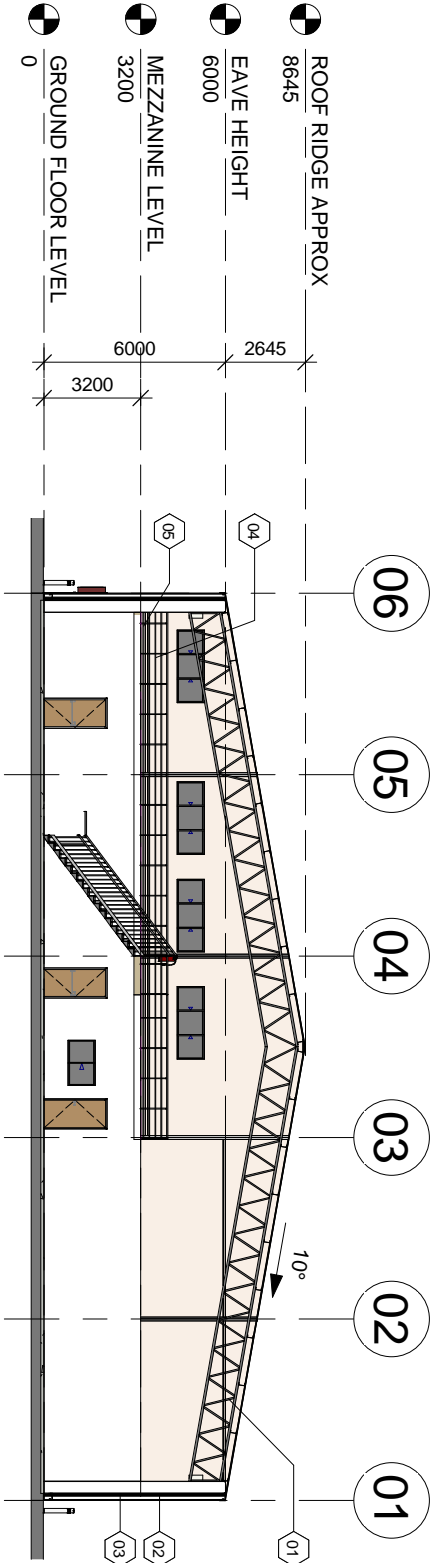
**REVISION**  
1 PRELIMINARY ISSUE  
2 REVISED ELEVATION  
3 HYDRANT PLAN

**DATE** 09/12/2024  
14/01/2025  
30/04/2025

**PROJECT No.** W24035  
**SHEET** A008

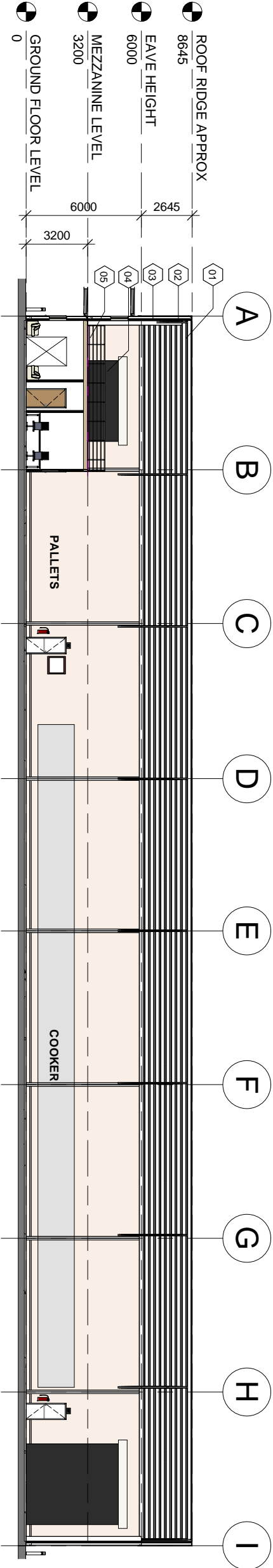
NOTES: (xx)

- STEEL TRUSSES/RAFTERS AS PER ENG DESIGN AND MANUFACTURERS SPEC INSULATION AS PER BASIX REQUIREMENTS
- WALL INSULATION TO SECTION J REQUIREMENTS
- STEEL WALL FRAMES TO ENGINEERS DESIGN AND MANUFACTURERS SPEC. WIND WALL BRACING AS PER ENGINEERS DESIGN.
- 1000mm HIGH HANDRAIL TO BE IN ACCORDANCE WITH NCC PART D3D21
- PARTICLE BOARD FLOORING ACCORDING TO ENGINEERS DESIGN.



BUILDING A SECTION A

1 : 250



BUILDING A SECTION B

1 : 250



WARRICK MORLEY  
DRAFTING SERVICES

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M | 0423 380 735

E | warrick@wmdrafting.com

PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

DA SUBMISSION

| SCALE    | 1 : 250    | REVISION | DESCRIPTION       |
|----------|------------|----------|-------------------|
| DATE     | 30/04/2025 | 1        | PRELIMINARY ISSUE |
| DRAWN    | CM         | 2        | REVISED ELEVATION |
| DESIGNED | WM         | 3        | HYDRANT PLAN      |

DATE  
09/12/2024  
14/01/2025  
30/04/2025

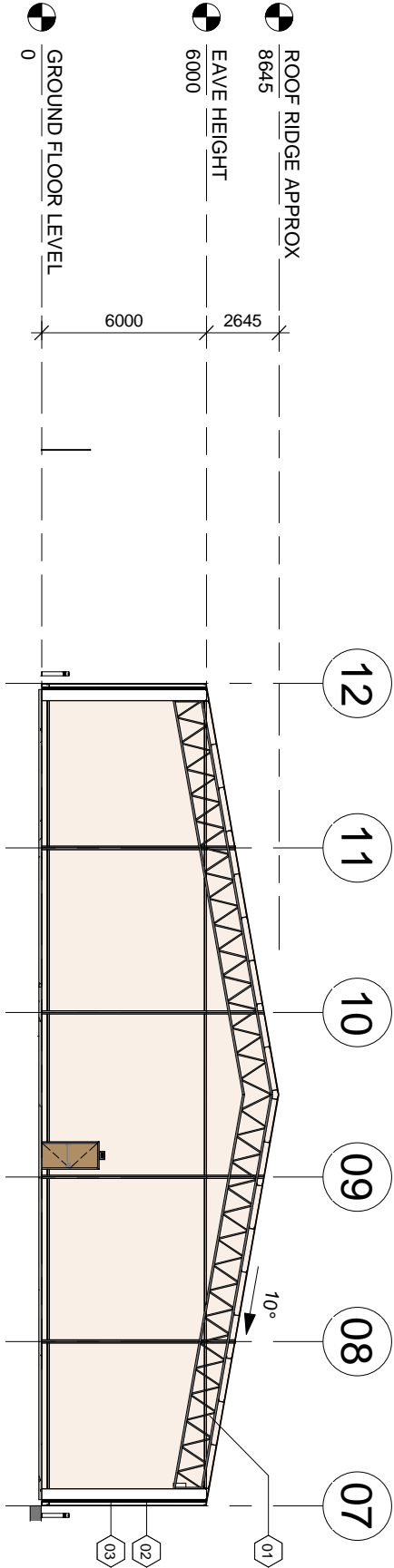
PROJECT No.  
W24035  
SHEET

A009

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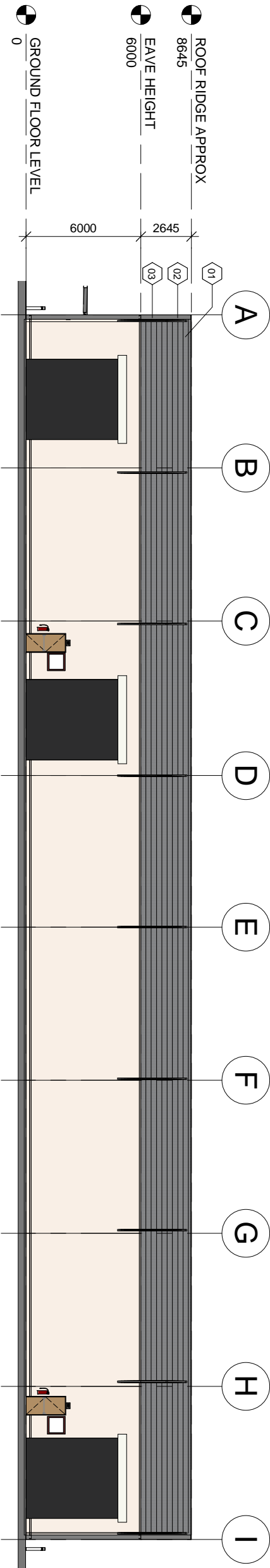
NOTES: (xx)

- STEEL TRUSSES/AFTERS AS PER ENG DESIGN AND MANUFACTURERS SPEC INSULATION AS PER BASIC REQUIREMENTS
- WALL INSULATION TO SECTION J REQUIREMENTS
- STEEL WALL FRAMES TO ENGINEERS DESIGN AND MANUFACTURERS SPEC. WIND WALL BRACING AS PER ENGINEERS DESIGN.



BUILDING B SECTION A

1 : 250



BUILDING B SECTION B

1 : 250



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PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

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SCALE 1 : 250

REVISION

DESCRIPTION

DATE

- |   |                   |
|---|-------------------|
| 1 | PRELIMINARY ISSUE |
| 2 | REVISED ELEVATION |
| 3 | HYDRANT PLAN      |

09/12/2024  
14/01/2025  
30/04/2025

DATE  
DRAWN  
DESIGNED

30/04/2025  
CM  
WM

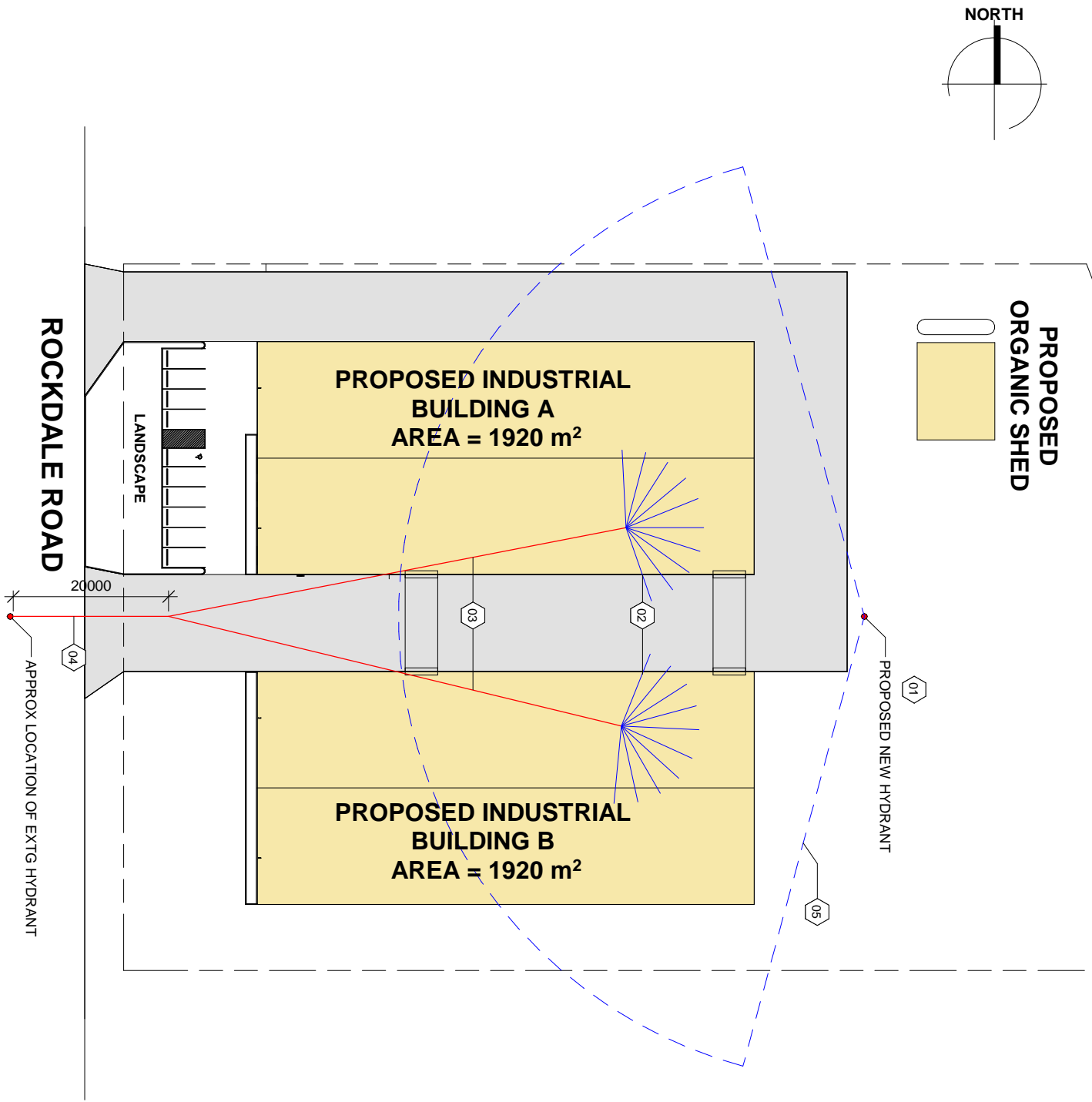
PROJECT No.  
W24035

SHEET

A010

NOTES: (xx)

1. LOCATION OF PROPOSED NEW HYDRANT TO BE DETERMINED BY HYDRAULIC ENGINEER.
2. 10 METER COVERAGE AREA
3. 60 METER COVERAGE AREA
4. 20 METER BRIGADE APPLANCE.
5. 60 METER COVERAGE FROM PROPOSED NEW HYDRANT.



HYDRANT PLAN

1 : 750

**WARRICK MORLEY**  
**DRAFTING SERVICES**

**PROPOSED DEVELOPMENT**  
**LOT 2235, ROCKDALE ROAD, YOUNG, NSW**  
**MR. L. BROOK-KELLY**

**DA SUBMISSION**

DATE

30/04/2025

PROJECT No.  
**W24035**

SHEET

**A011**

SCALE

1 : 750

REVISION

DESCRIPTION  
HYDRANT PLAN

DATE

30/04/2025

DRAWN

CM

DESIGNED

WM

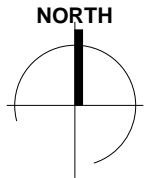
A | Greenwood' Binb NSW 2810

M | 0423 380 735

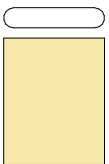
E | warrick@wmrafting.com

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PROPOSED  
ORGANIC SHED



DRIVEWAY  
AREA = 2502.5 m<sup>2</sup>

PROPOSED INDUSTRIAL  
BUILDING A  
AREA = 1920 m<sup>2</sup>

PROPOSED INDUSTRIAL  
BUILDING B  
AREA = 1920 m<sup>2</sup>

ENTRY

EXIT

LANDSCAPE

ROCKDALE ROAD

## VEHICLE MOVEMENT PLAN 19m SEMI

1 : 750



WARRICK MORLEY  
DRAFTING SERVICES

A | Greenwood Bmhb NSW 2810

M | 0423 380 735

E | warwick@wmddrafting.com

### PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

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DA SUBMISSION

DATE

30/04/2025

PROJECT No.  
W24035

SHEET

A012

SCALE

1 : 750

REVISION

3

DESCRIPTION  
HYDRANT PLAN

DATE

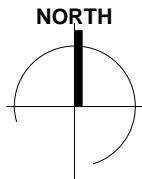
30/04/2025

DRAWN

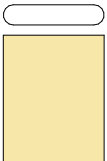
CM

DESIGNED

WM



PROPOSED  
ORGANIC SHED



DRIVEWAY  
AREA = 2502.5 m<sup>2</sup>

PROPOSED INDUSTRIAL  
BUILDING A  
AREA = 1920 m<sup>2</sup>

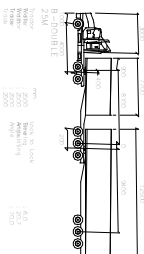
PROPOSED INDUSTRIAL  
BUILDING B  
AREA = 1920 m<sup>2</sup>

ENTRY

EXIT

LANDSCAPE

ROCKDALE ROAD



## VEHICLE MOVEMENT PLAN B-DOUBLE

1 : 750



WARRICK MORLEY  
DRAFTING SERVICES

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### PROPOSED DEVELOPMENT

LOT 2235, ROCKDALE ROAD, YOUNG, NSW

MR. L. BROOK-KELLY

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DA SUBMISSION

DATE

30/04/2025

PROJECT No.  
W24035

SHEET

A013

SCALE

1 : 750

REVISION

3

DESCRIPTION  
HYDRANT PLAN

DATE

30/04/2025

DRAWN

CM

DESIGNED

WM

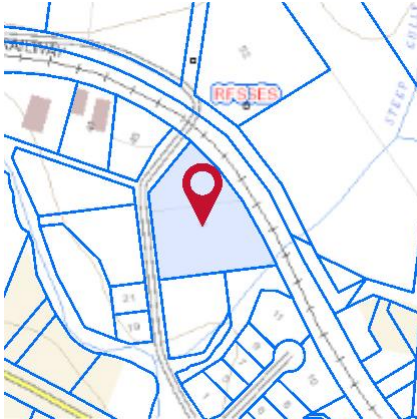
## **APPENDIX 3**

### **NSW Planning Portal Report**



# Property Report

20 ROCKDALE ROAD YOUNG 2594



## Property Details

Address: 20 ROCKDALE ROAD YOUNG 2594  
 Lot/Section 2235/-/DP754611 2302/-/DP754611  
 /Plan No:  
 Council: HILLTOPS COUNCIL

## Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

|                              |                                                          |
|------------------------------|----------------------------------------------------------|
| Local Environmental Plans    | Hilltops Local Environmental Plan 2022 (pub. 23-12-2022) |
| Land Zoning                  | E4 - General Industrial: (pub. 23-12-2022)               |
| Height Of Building           | NA                                                       |
| Floor Space Ratio            | NA                                                       |
| Minimum Lot Size             | NA                                                       |
| Heritage                     | NA                                                       |
| Land Reservation Acquisition | NA                                                       |
| Foreshore Building Line      | NA                                                       |
| Groundwater Vulnerability    | Groundwater Vulnerability                                |
| Terrestrial Biodiversity     | Biodiversity                                             |

## Detailed planning information

### State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)





# Property Report

20 ROCKDALE ROAD YOUNG 2594

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021)
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022)
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021)

## Other matters affecting the property

Information held in the Planning Database about other matters affecting the property appears below. The property may also be affected by additional planning controls not outlined in this report. Please speak to your council for more information

|                               |                           |
|-------------------------------|---------------------------|
| Local Aboriginal Land Council | YOUNG                     |
| Regional Plan Boundary        | South East and Tablelands |

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



**Hilltops Council**  
Locked Bag 5  
Young NSW 2594  
Telephone: 1300 445 586  
Email: [mail@hilltops.nsw.gov.au](mailto:mail@hilltops.nsw.gov.au)

**Important Notice!**

**This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground.**

This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Hilltops Council nor the LPI makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.  
© The State of New South Wales (Land and Property Information), © Hilltops Council.

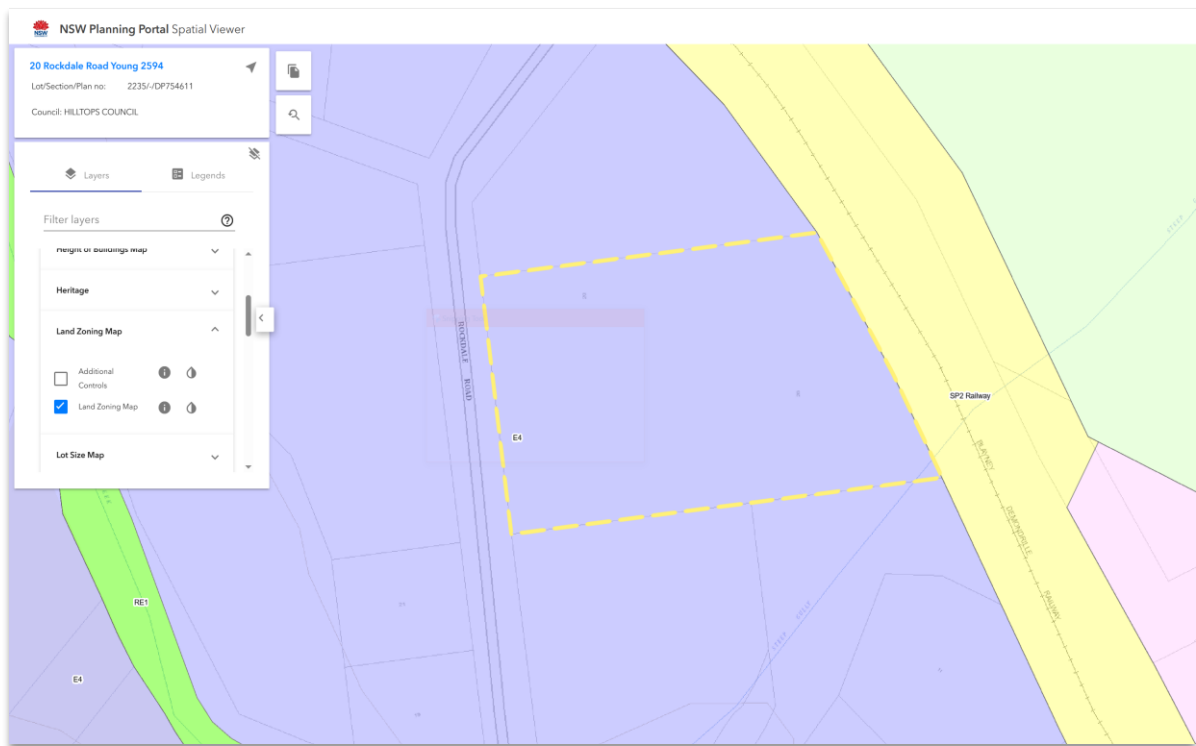


**Projection:** GDA94 / MGA zone 55

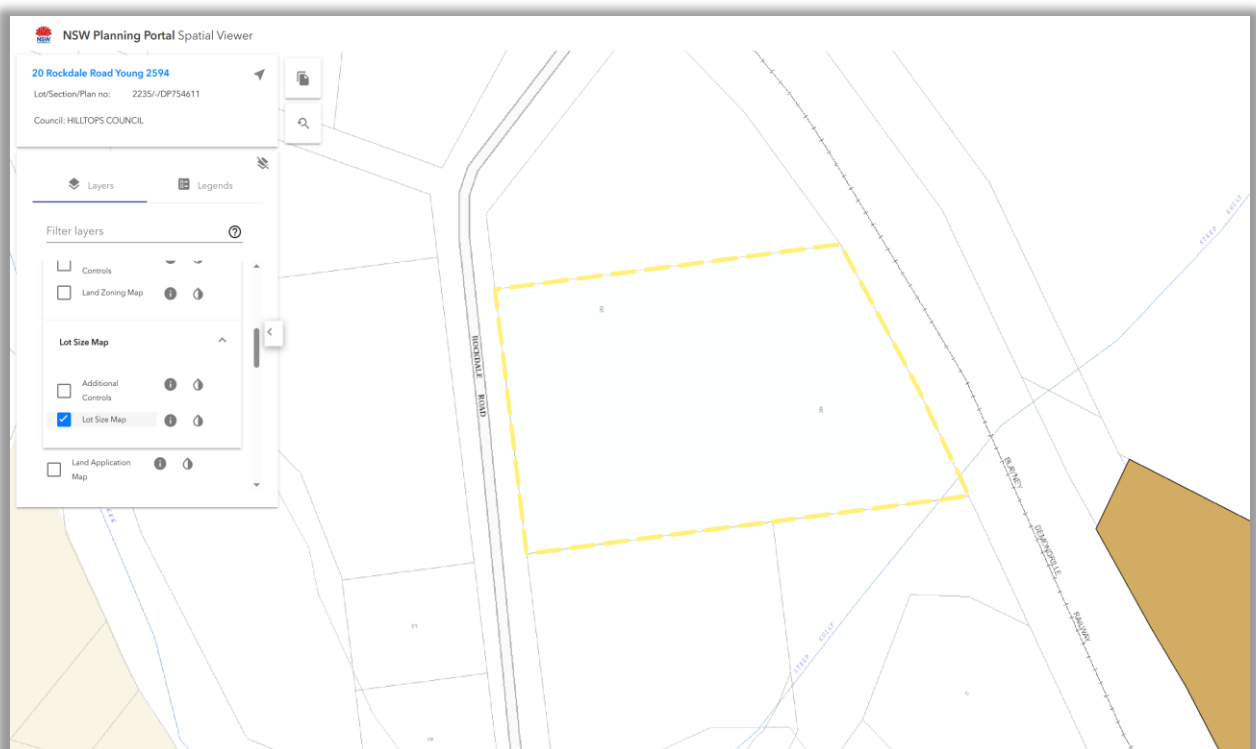
**Date:** 02/06/2025

**Drawn By:** anonymous

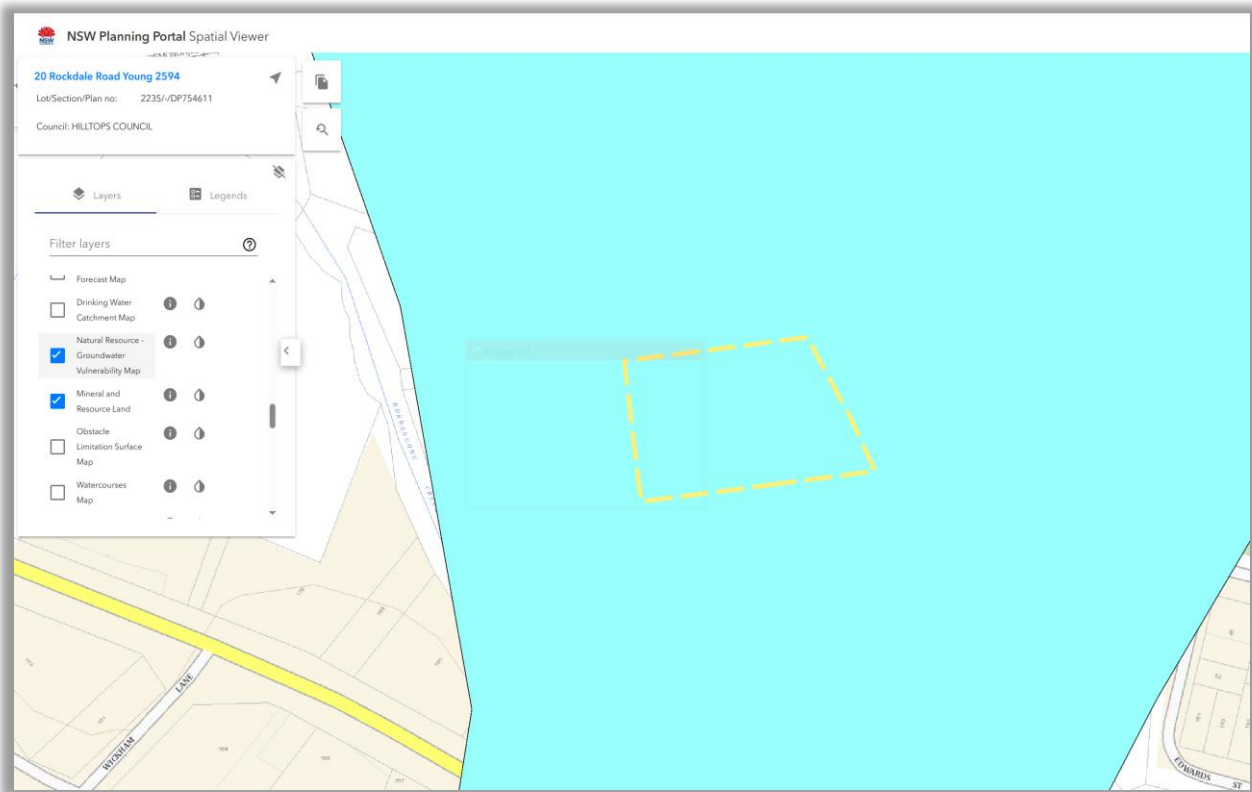
**Map Scale: 1:1500 at A4**



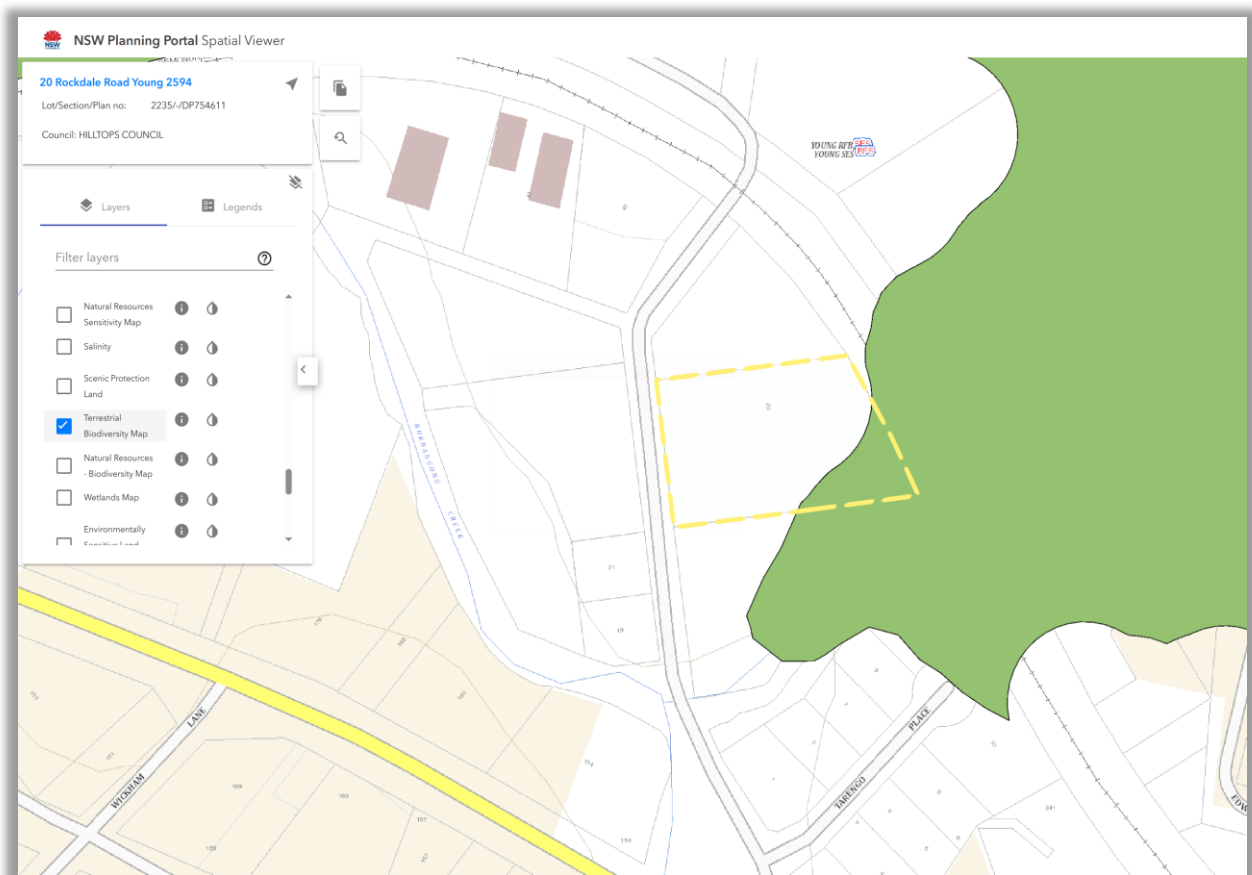
**Zone Map**



**Min Lot Size – land of development not residential**



**NRW – Groundwater mapping yet no site inputs proposed**



**NRB – Terrestrial Biodiversity – yet only 2 isolated trees on site**



## **APPENDIX 4**

### **BIODIVERSITY OFFSET SEARCH**

### **CULTURAL HERITAGE (AHIMs) SEARCH**

Kenneth Filmer

Date: 04 June 2025

18 Pineview Cct 91 Boorowa Street Young  
Young New South Wales 2594

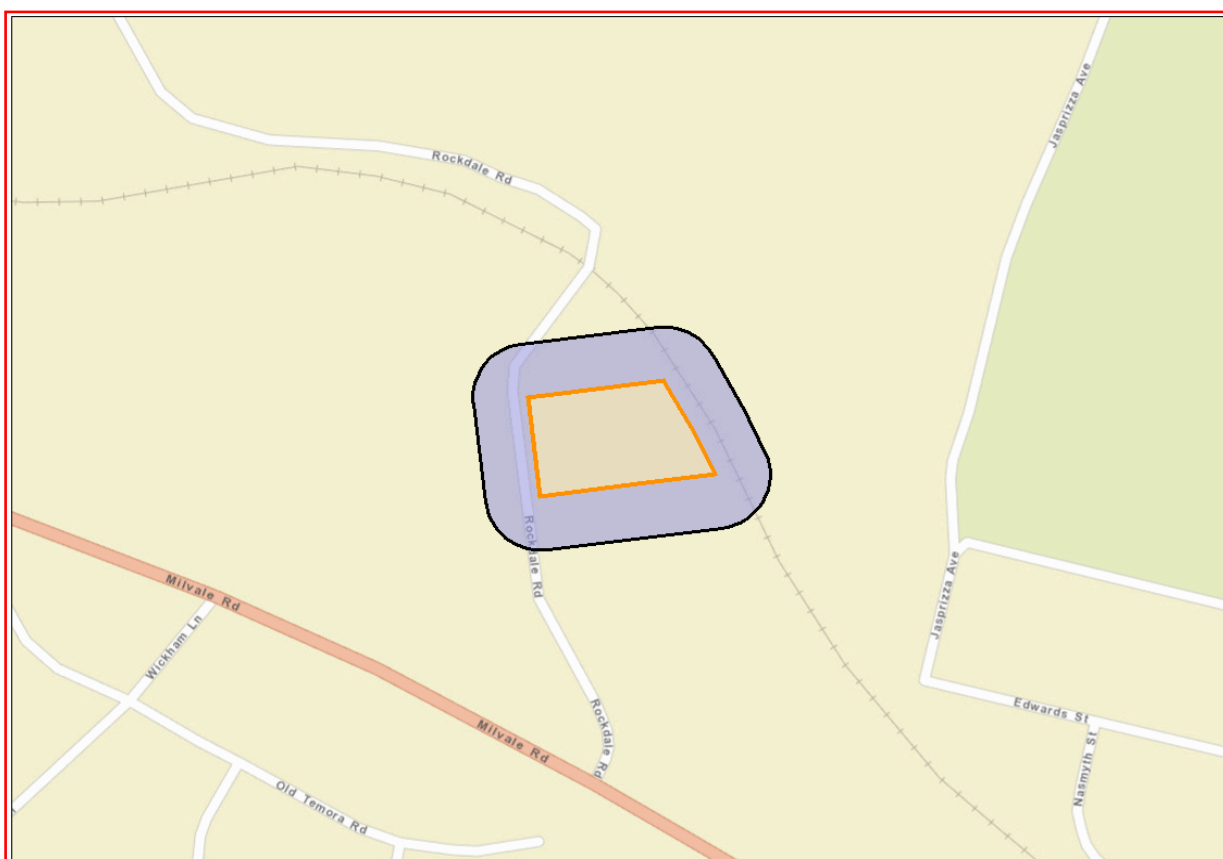
Attention: Kenneth Filmer

Email: craig@dabusters.com

Dear Sir or Madam:

**AHIMS Web Service search for the following area at Lot : 2235, DP:DP754611, Section : - with a Buffer of 50 meters, conducted by Kenneth Filmer on 04 June 2025.**

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

|   |                                                                       |
|---|-----------------------------------------------------------------------|
| 0 | Aboriginal sites are recorded in or near the above location.          |
| 0 | Aboriginal places have been declared in or near the above location. * |

**If your search shows Aboriginal sites or places what should you do?**

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

**Important information about your AHIMS search**

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

## Biodiversity Values Map and Threshold Report

This report is generated using the Biodiversity Values Map and Threshold (BMAT) tool. The BMAT tool is used by proponents to supply evidence to your local council to determine whether or not a Biodiversity Development Assessment Report (BDAR) is required under [the Biodiversity Conservation Regulation 2017 \(Cl. 7.2 & 7.3\)](#).

The report provides results for the proposed development footprint area identified by the user and displayed within the blue boundary on the map.

There are two pathways for determining whether a BDAR is required for the proposed development:

1. Is there Biodiversity Values Mapping?
2. Is the 'clearing of native vegetation area threshold' exceeded?

### Biodiversity Values Map and Threshold Report

| Date of Report Generation                                                                                                                                                                  |                                                                                                                                                         | 02/06/2025 2:17 PM |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|
| 1. Biodiversity Values (BV) Map - Results Summary (Biodiversity Conservation Regulation Section 7.3)                                                                                       |                                                                                                                                                         |                    |
| 1.1                                                                                                                                                                                        | <b>Does the development Footprint intersect with BV mapping?</b>                                                                                        | no                 |
| 1.2                                                                                                                                                                                        | Was <u>ALL</u> BV Mapping within the development footprint added in the last 90 days? (dark purple mapping only, no light purple mapping present)       | no                 |
| 1.3                                                                                                                                                                                        | <b>Date of expiry of dark purple 90 day mapping</b>                                                                                                     | N/A                |
| 1.4                                                                                                                                                                                        | <b>Is the Biodiversity Values Map threshold exceeded?</b>                                                                                               | no                 |
| 2. Area Clearing Threshold - Results Summary (Biodiversity Conservation Regulation Section 7.2)                                                                                            |                                                                                                                                                         |                    |
| 2.1                                                                                                                                                                                        | <b>Size of the development or clearing footprint</b>                                                                                                    | 3,385.3 sqm        |
| 2.2                                                                                                                                                                                        | <b>Native Vegetation Area Clearing Estimate (NVACE)</b><br>(within development/clearing footprint)                                                      | 2,150.7 sqm        |
| 2.3                                                                                                                                                                                        | <b>Method for determining Minimum Lot Size</b>                                                                                                          | Lot size           |
| 2.4                                                                                                                                                                                        | <b>Minimum Lot Size</b> (10,000sqm = 1ha)                                                                                                               | 13,064 sqm         |
| 2.5                                                                                                                                                                                        | <b>Area Clearing Threshold</b> (10,000sqm = 1ha)                                                                                                        | 5,000 sqm          |
| 2.6                                                                                                                                                                                        | <b>Does the estimate exceed the Area Clearing Threshold?</b><br>(NVACE results are an estimate and can be reviewed using the <a href="#">Guidance</a> ) | no                 |
| <b>REPORT RESULT: Is the Biodiversity Offset Scheme (BOS) Threshold exceeded for the proposed development footprint area?</b><br>(Your local council will determine if a BDAR is required) |                                                                                                                                                         | <b>no</b>          |



## What do I do with this report?

- If the result above indicates the BOS Threshold has been exceeded, your local council may require a Biodiversity Development Assessment Report with your development application. Seek further advice from Council. An accredited assessor can apply the Biodiversity Assessment Method and prepare a BDAR for you. For a list of accredited assessors go to: <https://customer.lmbc.nsw.gov.au/assessment/AccreditedAssessor>.
- If the result above indicates the BOS Threshold has not been exceeded, you may not require a Biodiversity Development Assessment Report. This BMAT report can be provided to Council to support your development application. Council can advise how the area clearing threshold results should be considered. Council will review these results and make a determination if a BDAR is required. Council may ask you to review the area clearing threshold results. You may also be required to assess whether the development is “likely to significantly affect threatened species” as determined under the test in Section 7.3 of the *Biodiversity Conservation Act 2016*.
- If a BDAR is not required by Council, you may still require a permit to clear vegetation from your local council.
- If all Biodiversity Values mapping within your development footprint was less than 90 days old, i.e. areas are displayed as dark purple on the BV map, a BDAR may not be required if your Development Application is submitted within that 90 day period. Any BV mapping less than 90 days old on this report will expire on the date provided in Line item 1.3 above.

For more detailed advice about actions required, refer to the Interpreting the evaluation report section of the [Biodiversity Values Map Threshold Tool User Guide](#) .

## Review Options:

- If you believe the Biodiversity Values mapping is incorrect please refer to our [BV Map Review webpage](#) for further information.
- If you or Council disagree with the area clearing threshold estimate results from the NVACE in Line Item 2.6 above (i.e. area of Native Vegetation within the Development footprint proposed to be cleared), review the results using the [Guide for reviewing area clearing threshold results from the BMAT Tool](#).

## Acknowledgement

I, as the applicant for this development, submit that I have correctly depicted the area that will be impacted or likely to be impacted as a result of the proposed development.

Signature: \_\_\_\_\_

(Typing your name in the signature field will be considered as your signature for the purposes of this form)

Date: \_\_\_\_\_

02/06/2025 02:17 PM

## Biodiversity Values Map and Threshold Tool

The Biodiversity Values (BV) Map and Threshold Tool identifies land with high biodiversity value, particularly sensitive to impacts from development and clearing.

The BV map forms part of the Biodiversity Offsets Scheme threshold, which is one of the factors for determining whether the Scheme applies to a clearing or development proposal. You have used the Threshold Tool in the map viewer to generate this BV Threshold Report for your nominated area. This report calculates results for your proposed development footprint and indicates whether Council may require you to engage an accredited assessor to prepare a Biodiversity Development Assessment Report (BDAR) for your development.

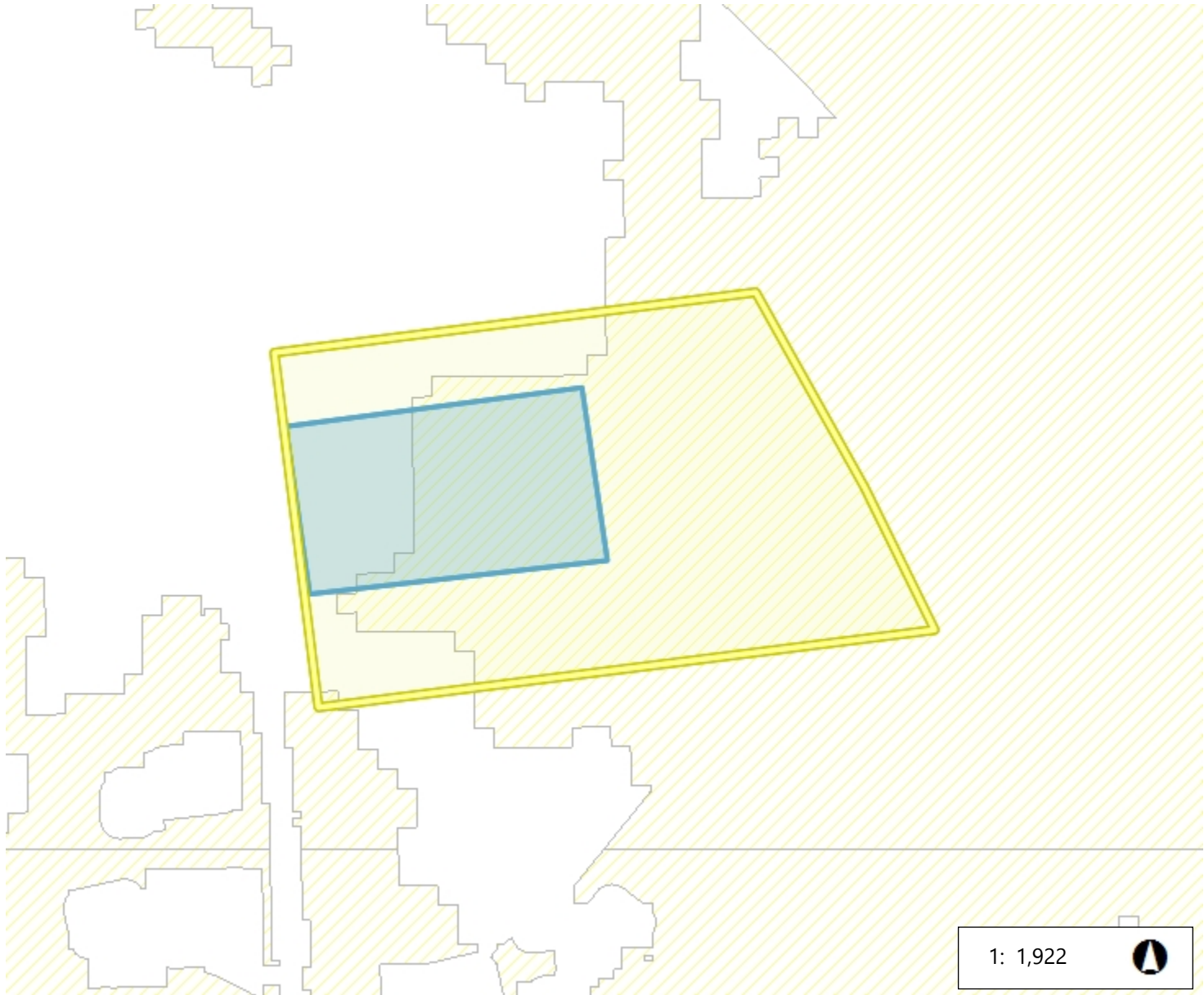
This report may be used as evidence for development applications submitted to councils. You may also use this report when considering native vegetation clearing under the State Environmental Planning Policy (Biodiversity and Conservation) 2021 - Chapter 2 vegetation in non-rural areas.

What's new? For more information about the latest updates to the Biodiversity Values Map and Threshold Tool go to the updates section on the [Biodiversity Values Map webpage](#).

Map Review: Landholders can request a review of the BV Map where they consider there is an error in the mapping on their property. For more information about the map review process and an application form for a review go to the [Biodiversity Values Map Review webpage](#).

If you need help using this map tool see our [Biodiversity Values Map and Threshold Tool User Guide](#) or contact the Map Review Team at [map.review@environment.nsw.gov.au](mailto:map.review@environment.nsw.gov.au) or on 1800 001 490.





# Biodiversity Values Map



97.7 0 48.83 97.7 Metres

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

## Legend

-  Biodiversity Values that have been mapped for more than 90 days
-  Biodiversity Values added within last 90 days
-  Native Vegetation Area Clearing Estimate (NVACE)
-  Development area selected by proponent

02/06/2025 02:17 PM

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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The results provided in this tool are generated using the best available mapping and knowledge of species habitat requirements.

This map is valid as at the date the report was generated. Checking the [Biodiversity Values Map viewer](#) for mapping updates is recommended.